

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- D. Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval of a **Certified Survey Map** to subdivide the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development for the development of two (2) proposed multi-tenant retail buildings to be known as The Bulls-Eye development.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of July 13, 2015.

- E. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent to create the specific PUD requirements for two (2) proposed multi-tenant retail buildings for The Bulls-Eye development proposed on the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** subject to the comments and conditions of the Village Staff Report of July 13, 2015.

- F. Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval of **Preliminary Site and Operational Plans** to begin mass grading, installation of underground utilities and early footing and foundation permits for two (2) proposed multi-tenant retail buildings for The Bulls-Eye development on the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development.

Recommendation: Village staff recommends that the Plan Commission approve the Preliminary Site and Operational Plans for the **Conceptual Plan** subject to the comments and conditions of the Village Staff Report of July 13, 2015.

VILLAGE STAFF REPORT OF JULY 13, 2015

Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval of a **Certified Survey Map** to subdivide the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development for the development of two (2) proposed multi-tenant retail buildings to be known as The Bulls-Eye development.

CONSIDERATION OF A ZONING TEXT AMENDMENT to consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent to create the specific PUD requirements for two (2) proposed multi-tenant retail buildings for The Bulls-Eye development proposed on the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development.

Consider the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for approval of **Preliminary Site and Operational Plans** to begin mass grading, installation of underground utilities and early footing and foundation permits for two (2) proposed multi-tenant retail buildings for The Bulls-Eye development on the property generally located at the southeast corner of STH 50 and 94th Avenue within the Prairie Ridge development.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

The petitioner is requesting several approvals for the development of the 2.01 acre site located at the southeast corner of STH 50 and 94th Avenue (Outlot 21 of Prairie Ridge Subdivision) based on the Conceptual Plan that was conditionally approved by the Village Board on June 1, 2015 for the development of two (2) retail/restaurant buildings on the property generally located at the southeast corner of STH 50 (75th Street) and 94th Avenue within the Prairie Ridge development. The approvals being considered by the Plan Commission at this meeting include a Certified Survey Map, a Zoning Text Amendment and Preliminary Site and Operational Plans.

Certified Survey Map: Outlot 21 of the Prairie Ridge development located at the southeast corner of STH 50 (75th Street) and 94th Avenue is proposed to be subdivided into two (2) parcels.

Lot 1 is proposed to be 1.042 acres with frontage on 76th Street, 94th Avenue and STH 50.

Lot 2 is proposed to be 0.969 acre with frontage on both 76th Street and STH 50.

Although both lots have frontage on STH 50 there is no direct access to STH 50. In addition Lot 1 will have no direct access to 94th Avenue or 76th Street. Access for Lot 1 will be through a common access located partially on Lot 2 and partially on the adjacent Outlot 20. (The Dedicated Ingress/Egress, Cross Access and Maintenance Easements shall be revised on the CSM to match the location as shown on the Preliminary Site and Operational Plans and the Conceptual Plan as conditionally approved by the Village Board on June 1, 2015).

Lot 1 is proposed to be developed with a 6,330 square feet multi-tenant restaurant/retail building and will likely be utilized by two (2) tenants.

Lot 2 is proposed to be developed with a 7,248 square foot multi-tenant restaurant/retail/office building and will likely be utilized by three (3) tenants.

Zoning Text Amendment: The property is currently zoned B-2 (PUD), Community Business, with a Planned Unit Development Overlay. The existing signage PUD on the property relates to the PUD for the entire Prairie Ridge commercial development that allows for several entry-monument signs throughout the Prairie Ridge development.

The proposed Zoning Text Amendment is provided in a separate PUD for The Bulls-Eye development for these two properties. The PUD will allow some dimensional variations for this development provided that there is a community benefit. The community benefits proposed in consideration of the PUD lot size reduction, along with other PUD modifications as discussed below will include the requirement that both buildings constructed on Outlot 21 will comply with Section 180 Fire and Rescue Protection, the Fire & Rescue Dept. comments and the installation of fire sprinklers; will comply with Section 410 of the Village Municipal Code related to the installation, ownership and maintenance of a Digital Security Imaging System (DSIS); the land owner (SB1) will prepare and record separate Declaration of Easement and Restrictions covering cross access, parking, site and building maintenance and land uses for the Outlot 20 and Outlot 21 properties; and will have enhanced architectural design features and increased amounts/sizes of landscaping.

The ***attached*** PUD includes the following modifications to the Zoning Ordinance:

- To reduce the lot size from 2 acres per lot to: Lot 1 – 1.042 acres and Lot 2 – 0.969 acre;
- To reduce the open space from 30% to 24%;
- To reduce the street setback from 40 feet to 31 feet (prior to additional right-of-way being needed by WI DOT for future widening of 94th Avenue with the reconstruction of STH 50);
- To reduce the side setback between Outlots 20 and 21 to 27 feet rather than a 30 foot setback;
- To allow a zero foot parking setback from the interior lot lines (between Lots 1 and 2 of the proposed CSM and to the adjacent Outlot 20 instead of the require 10 foot setback to allow for shared cross access;
- To allow for a 15 foot setback of the parking lot (maneuvering lane) from the 76th Street where a 20 foot setback is required;
- To allow for reduced side lot line setbacks from 10 feet to 5 feet for the Primary Monument signs for the development. The Primary Monument signs are required to be setback a minimum of 10 feet (maximum sign height) from the side property line and at least 5 feet will be required due to the 5 foot landscaping area required around the signs. The Village will not permit two identical signs with the exact same message or tenant names. The maximum size of the Primary Monument signs abutting STH 50 shall be 10 feet in height from grade (berms shall not be allowed in order to increase the sign height);
- To allow for the spacing separation for the driveways on 76th Street to be reduced from 105 feet to 103 feet as measured from driveway center line to driveway center line; and
- To allow for modification of the total amount of square footage for building wall signage per tenant similar to other commercial developments in Prairie Ridge.

Preliminary Site and Operational Plans: The petitioner is requesting approvals to begin mass grading, install underground utilities and install early footing and foundations for both buildings. Prior to issuance of building permits, Final Site and Operational Plans (including a Conditional Use Permit for the drive thru) will be required to be submitted. In addition, with

the submittal and Village staff review of the DSIS plan and specifications, the required DSIS Agreement and Easement will be drafted and considered as part of the Final Site and Operational Plans.

Two (2) multi-tenant restaurant/retail buildings are proposed to be developed:

- Lot 1 is proposed to be developed with a 6,330 square foot multi-tenant restaurant/retail building and will be utilized by two (2) tenants.
- Lot 2 is proposed to be developed with a 7,248 square foot multi-tenant restaurant/retail/office building and will be utilized by three (3) tenants.

Site Access and Parking: As noted previously, Lots 1 and 2 of the proposed CSM will share 1 access driveway to 76th Street on the east side of Lot 2. This driveway will also provide a future access to the development of the adjacent Outlot 20 pursuant to the Conceptual Plan as conditionally approved by the Village Board on June 1, 2015. A second 76th Street driveway will access Outlot 20 (to the east) and provide cross access through the development area north of the 76th Street between 91st and 94th Avenues.

There are no users to be announced at this time; however, when specific users and tenants are identified, the detailed Final Site and Operational Plans will be required to be submitted for each building so that the parking ratios will be evaluated to ensure compliance with the Village parking regulations.

The number of parking spaces needed by the future retail and restaurant tenants pursuant to the Village parking requirements is listed below:

- Restaurants require a minimum of one (1) space for each 100 square feet of floor area plus one (1) space for every two (2) employees on the largest work shift. (Per the site and operational plan narrative **83 spaces** are required).
- Retail stores require a minimum of one (1) space for each 200 feet of primary floor area plus one (1) space for every two (2) employees. (Per the site and operational plan **16 spaces** are required).
- Medical and dental offices require a minimum five (5) spaces for every doctor plus one (1) space for every employee. (Per the site and operational plan **10 spaces** are required).

In addition, to these minimum parking spaces, five (5) handicapped accessible parking spaces are required by the State Code.

The Preliminary Site and Operational Plans indicate 109 parking spaces (which includes five (5) handicapped accessible spaces). The Parking Calculations in the Site Data Table verify that the parking count for the site is deficient. The total number of parking spaces required is 109, plus 5 handicapped accessible parking spaces, which means 114 spaces are needed. (The Site Data Table on Sheet C-3 needs to be corrected to reflect the actual square footages and number of employees as reflected in the written narrative).

Although the Ordinance provides the parking minimums and since there is not enough parking being provided on the site (short at least 5 spaces) and the Village will not allow parking on the adjacent 94th Avenue or 76th Street, the petitioner is proposing to enter into cross access parking agreement with St. Anne Catholic Church. A draft easement has been provided to the Village for comments. The parking easement agreement (for 30 spaces) with St. Anne will require the employees (30 employees have been identified to be working at The Bulls-Eye development) which would need to carpool and park at the church's lot.

A second option is to enter into a cross access parking and access easement for parking/pedestrians with Costco. This agreement has not yet been confirmed. However, to

address the potential adjacent cross access parking with Costco, a sidewalk shall be extended to align with the Costco sidewalk connection, along with pavement markings and signage at the developer's cost. This would provide for a mid-block crossing of pedestrians from the Costco parking area to the Outlots 21 and 20 developments.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Certified Survey Map** subject to the above comments and the following conditions:

1. The **attached** changes and attached Dedication and Easement Provisions and Restrictive Covenants shall be added to the CSM. (**forthcoming**)
2. Any outstanding taxes or special assessments shall be paid prior to recording the CSM. Pursuant to the Village records there are taxes of **\$5,970.22** due by July 31, 2015. There is also an outstanding STH 50 transportation improvement assessment due in the amount of **\$126,955.62**.
3. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Zoning Text Amendment** as presented.

Village staff recommends that the Plan Commission approve the **Preliminary Site and Operational Plan** subject to the above comments and the following conditions:

1. The Plans were reviewed for compliance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made and three (3) paper copies of the revised Preliminary Site and Operational Plans, a copy of this memorandum with notations in the margin identifying where and how the comments were addressed, and a pdf shall be submitted for final staff review and approval.**
 - a. Submit written approval from the Prairie Ridge Commercial Owners Association that the parking/paving will be permitted within the 70' x 80' dedicated Entry Monument Easement at the northwest corner of Lot 1.
 - b. A minimum of 114 spaces (and desirably 130 spaces) are required which includes handicapped accessible parking spaces. A total of 109 spaces are being provided. *Executed copies of the cross access parking easement(s) shall be provided to confirm the needed parking prior to issuance of any permits.*
 - c. A sidewalk connection shall be extended from the existing sidewalk to the street to align with the Costco sidewalk connection. See **attached**. This will allow for the crossing of pedestrians from the Costco parking area to this development. (It is located about midblock between 91st and 94th Avenues.

- d. All downspouts shall be directly interconnected to the private underground storm water system. No plastic PVC piping shall be visible. Show on the plans.
- e. It shall be the responsibility of the property owner to cover the costs for the replacement of any damaged public sidewalks and/or damaged street trees. Existing street trees shall be pruned, shaped and placed in mulch beds. Add note on the plans.
- f. On Sheet C-3:
 - i. Clearly label and delineate all existing Rights-of-Way (75th and 76th Streets and 94th Avenue).
 - ii. The curbed island for the restaurant drive-thru lane shall be extended to the north to a line across from the patio seating area. (Revise all plan sheets).
 - iii. No curb or wheel stops will be allowed - raised sidewalks shall be used for car bumpers at the front of the stores/restaurants. Revised all plan sheets.
 - iv. The site plan legend indicates a symbol for a Light Pole; however there are no light poles shown. All light poles shall be in a landscape islands within a maximum of 18 inches concrete bases. The same LED light pole (style and color) for all development in Outlots 20 and 21 will be required. The height of all light poles and bases shall be 20 feet.
 - v. Show details of the ornamental black bollards around outdoor dining areas.
 - vi. Show the required bollards around the electrical transformers. All bollards around the transformers and garbage dumpsters shall be painted black.
 - vii. There is a sign shown along the western most parking area on midway along the parking spaces. What is this sign? Compact car parking?
 - viii. Provide a detailed on-site informational, directional, traffic and other site signage plan showing locations, heights, areas, sizes, and lighting.
 - ix. Is a sign being installed at the drive-thru? Show location on the plans.
 - x. Show the setback distances from the primary monument signs to the property lines and the back of curb.
 - xi. Show the setback distances from the building to the side property lines (common side property line).
 - xii. On the site data information change "Parcel ID Number" to "Tax Parcel Number".
 - xiii. On the site data information in the Building Use the word "Restaurant" is spelled incorrectly.
 - xiv. On the site data information below the Parking Calculations shall include the following note: "Note: Ingress/Egress, Cross Access, and Maintenance Easement for parking and pedestrians located at _____ for _____ spaces." Insert blank space with the information from the agreement(s).

- g. On the Site Grading, Drainage and Erosion Control Plan (Sheet C-4): The tree at the driveway entrance is noted to be removed and disposed of on this sheet but on the landscaping plan it is noted to be relocated. This street tree shall be relocated. Revise the plan sheets so that they are consistent.
 - h. The temporary construction fence shown on sheet C-4 shall be a minimum of 6 feet. Note on the plan.
 - i. On the Pavement Grading Plan (Sheet C-5):
 - i. Add a detail for the driveway entrance construction. In the detail show installing two (2) No.4 (1/2-inch), 18-inch long tie bars, evenly spaced, driven 9-inches into the existing curb and gutter at the connection points.
 - ii. Show proposed contours on this sheet or add spot elevations to Sheet C-4. Having the proposed contours on the same sheet as the spot elevations makes easier to identify incorrect grades.
 - j. On the Site Utility Plan (Sheet C-6): Verify size of water stub 2.0 and 4.0. The FDC line is 4" on the plans.
 - k. On the Storm Sewer Plan (Sheet C-7): JCT 5.0 should be replaced with a manhole.
 - l. On the Typical Sections and Construction Details (Sheet C-10): The base thicknesses specified for both the trash enclosure and sidewalk does not match the details.
 - m. On the Typical Sections and Construction Details (Sheet C-11): Is the casting on the standard inlet detail correct? The detail shows a casting for roll type curb with a width of 24" but the plans call for 18" vertical faced curb and gutter.
 - n. In the Storm Sewer Calculations: In the storm sewer design table provide the full flow capacity for each pipe so that the design flows vs. the pipe capacities can be easily checked.
 - o. The estimate of the amount of import or export of fill needed for the site grading shall be provided. The earthwork on the site shall balance (No soil stockpiles shall be left on site and no pulverizing of soil stockpiles on site).
 - p. The landscaping plan shall be revised as shown on the **attached**.
2. Compliance with the **attached** memorandum from the Fire & Rescue Department dated July 10, 2015. In addition, when specific development plans are submitted detailed and more specific comments will be provided by all Village Departments as part of the required Final Site and Operational Plans.
3. **The following shall be completed or submitted prior to issuance of a mass grading permit, underground utilities and early footing and foundations:**
- b. The CSM shall be modified, recorded and a recorded copy shall be provided to the Village.
 - c. A copy of the Ingress/Egress Cross Access and Maintenance Easement executed by all three (3) parties (Outlot 20, 21 and SB1).
 - d. Three (3) copies and a pdf of the approved Preliminary Site and Operational Plans.

- e. A Village Work in the Right-of-way Permit for all work proposed within 76th Street and 94th Avenue right-of-way.
- f. An Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I.
- g. The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.
- h. The Commercial Permit applications (footing and foundation and/or any underground utilities) and required State approved plans.
- i. A copy of the WI DOT permit for any work within the STH 50 right-of-way.
- j. A copy of the written approval of the Preliminary Site and Operational Plans from the Prairie Ridge Commercial Owners Association, including a copy of a letter which outlines approval for all variances from the Prairie Ridge Commercial Declarations.
- k. A copy of the written approval shall be provided from the utility easement holder(s) for proposed grading, utility, and/or other work within easement limits.
- l. A copy of the City of Kenosha Airport Height Overlay Permit approval.
- m. Copies of the Kenosha County Health Department Permits for all restaurants.
- n. After Village staff review, a copy of the land owner prepared executed Declaration of Easements and Restrictions for Outlots 20 and 21.
- o. A copy of the Prairie Ridge Commercial Association variance and plan approvals.

Next Steps and Other Requirements:

1. The Preliminary Site and Operational Plan approval will be valid for a period of 180 days. Prior to the expiration, the developer will be required to submit applications and required documents for the following approvals: Final Site and Operational Plan including documents related to the required Digital Security Imaging System, Conditional Use Permit (for drive-thru), Liquor License (if applicable) and Zoning Map Amendment (if any additional amendments are required to the PUD).
2. All buildings shall be fully protected with fire sprinklers and other requirements per the Fire Protection Ordinance and the Fire & Rescue Department memorandum.
3. The buildings/site shall comply with requirements of a privately owned, operated and maintained DSIS which complies with the Village Security Ordinance. Submit the DSIS plan and specifications for Village review and approval.
4. No roof mounted vents or HVAC units shall be visible to the public's view. All ground mounted HVAC or transformer units shall be screened.
5. Pursuant to the Conceptual Plan a fence is proposed around the each of the outdoor dining areas, but it is difficult to see. Place notes on the Final Site and Operational Plans that decorative (wrought iron or aluminum) black fencing shall be installed around each of the outdoor dining areas. Verify that if the restaurant use sells

alcohol this is an approved barrier to the public. Provide a detail of the proposed fencing/bollards around the each of the outdoor dining areas. In addition, attractive bollards shall be placed around the perimeter of the seating areas to prevent vehicles from inadvertently hitting the patio or store fronts.

6. A detailed primary monument signage plan shall be submitted as part of the Final Site and Operational Plans. Each Lot is required to have a primary monument sign (10 foot maximum height). Secondary entrance signs (entry monument signs) at the shared access locations may be allowed (4 foot maximum height). All signage shall conform to the provisions of the PUD Ordinance and all general requirements of the Village Sign Ordinance (Chapter 420 Article X) unless specifically allowed in the PUD.
7. Pursuant to the Conceptual Plan approval, the maximum height of the monument sign shall be 10 feet. The complete street address (number and street name) shall be shown on the signs a minimum of 18" from grade and the lettering shall be at least 3 inches high. Each building will be assigned a different address. The properties will have a Pleasant Prairie mailing address.
8. A chart shall be shown on the Sign Plan which identifies the square footage area of signage areas on each of the building. All signage shall be consistent with respect to how it is mounted and the maximum size areas. (No raceways are allowed for mounting signage).
9. Show the location and sizing of the address numerals on the buildings.
10. All parking lot signage shall utilize attractive black ornamental poles for all site direction, informational and handicapped accessible signage. No channel poles for any site signs will be allowed.
11. The same bronze framing shall be used for all windows and entryways.
12. All landscaped areas will be required to be irrigated with a sprinkler system. The base map for these landscape plans shall include the approved grading plan. In addition, the location of all pedestals and transformers and proposed screening shall be shown on the Site and Operational Plans required for each development site.
13. There shall be no parking of any vehicles on 91st or 94th Avenues or 76th Street.
14. Landscaping and parking lot islands will be required pursuant to the Village Ordinance requirements. In particular, landscaping between parking areas and roadways shall comply with Section 420-57 J (2) (d) of the Village Zoning Ordinance that states "*Parking lots associated with manufacturing, business or institutional uses shall be screened from public rights-of-way and/or residential zoning districts located within 50 feet of such parking lots; such screening shall be installed in close proximity to the parking lot and shall be 75% opaque to a height of at least four (4) feet above the grade of the nearest edge of such parking lot within three (3) years of installation and may consist of shrubs and trees, an appropriately landscaped undulating berm...*".
15. See **attached** for additional comments on the Landscape Plans to be considered with the Final Site and Operational Plans.
16. See **attached** for comments on the Building Elevations. Building architectural designs, elevations and sample materials will be required to be approved by the Plan Commission as part of the detailed Final Site and Operational Plans.
17. All easements shall be shown on the required Final Site and Operational Plans submitted for review and approval as each lot is proposed to be developed.

18. Details of the garbage dumpster enclosures shall be provided on the required Site and Operational Plans for the development of each lot. The dumpster enclosures shall be constructed of the same brick, block or stone materials as the building and be attached to the building. Detached garbage enclosures are not allowed. Wooden fence enclosures are not allowed. Sample materials, doors and paint colors of the dumpster enclosures shall be submitted for review and approval.
19. Details (cut sheet details) of the proposed exterior attractive lighting on the building, in the parking areas shall be provided with each detained Site and Operational Plan. In addition, provide a photometric plan to ensure proper lighting levels at the property boundaries as required by Article IX of the Village Zoning Ordinance. (This is a unified business developed – the LED lighting color, height, and style shall be the same or very similar for the commercial sites). Concrete bases shall not exceed 18 inches above grade and shall be located in landscape island areas. Maximum height is 20 feet from grade.
20. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
21. Impact fees shall be paid prior to issuance of the building permit. (Currently based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
22. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
23. During construction, the contractors will be required to park on-site or make arrangements for other off-site parking. No construction vehicles on 91st or 94th Avenues or the south side of 76th Street.
24. After footings and foundations are installed for each building and prior to framing or construction of walls, an as-built survey stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building setbacks have been met.
25. Prior to occupancy the DSIS shall be permitted, installed and approved by the Village.
26. Prior to occupancy, each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement (same color for all development) pursuant to ADA requirements prior to occupancy of any development site.
27. Prior to occupancy, all required landscaping and screening for the buildings and signage shall be installed. A written letter verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost

- of completion of any landscaping improvements not completed within the specified time.
28. Prior to written occupancy of any building and associated site improvements three (3) copies of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the signage companies that the signage was installed pursuant to the approved Site and Operational Plans shall be submitted.
 29. Prior to written occupancy of any building an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
 30. Prior to written occupancy, a record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all water main(s), sanitary sewer(s), and storm sewer(s) shall be prepared by the Engineer of Record for the project.
 31. No site within the development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
 32. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
 33. At no time shall any site within the development be used to sell or advertise any vehicles that are "for sale".
 34. No vehicular parking will be permitted in drive-thru lanes, driveways, maneuvering lanes, fire lanes or on landscaped areas.
 35. There shall be no outside sales or advertising banners, strings of pennants, signs placed or affixed in the ground; no flag pennants, flags, inflatable devices or streamers affixed and there shall be none attached to the building(s), garbage enclosures, fencing, light poles, landscaping, etc. within the Development. Special event and grand opening signs are permitted by Ordinance with permit.
 36. There shall be no semi-truck/trailers, delivery trucks or commercial box trucks or commercial van parking permitted on the site within the Development, except temporarily, for routine deliveries.
 37. There shall be no outdoor storage or display of materials, goods or equipment on any site, within the Development unless as approved by the Village.
 38. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
 39. No trucks, trailers or cars shall be parked in a manner that would constitute advertising for the business on the properties.

40. No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for extended periods of time advertising the businesses, sales or special offers of the service or retail businesses.
41. The Owner is responsible for maintaining, fixing, repairing and snow plowing the public sidewalks per Village Ordinance requirements.
42. The Owner is responsible for maintaining, watering, pruning, mulching and staking Public Street Trees.
43. There shall be a restrictive covenant that restricts the more intensive parking requirement users from locating to the property.
44. This property is located within a Street Lighting District of Prairie Ridge. The properties shall be responsible for their ongoing fair share costs associated with the electricity and maintenance.
45. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
46. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Owner/Developer. Such fees shall be paid in a timely manner.
47. All Village fees incurred by the Village Community Development Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Owner/Developer. Such fees shall be paid in a timely manner.
48. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.

ORD. #15-__

**ORDINANCE TO CREATE
THE BULLS-EYE COMMERCIAL DEVELOPMENT
PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE PURSUANT TO
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, create The Bulls-Eye Commercial Development Planned Unit Development (PUD) pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

THE BULLS-EYE COMMERCIAL DEVELOPMENT PLANNED UNIT DEVELOPMENT

- a. It is the intent that The Bulls-Eye Commercial Development (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the properties as legally described below in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying B-2, Community Business Zoning District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of proper maintenance on a regular basis to the structures, landscaping, street trees, sitting areas, parking areas, sidewalks, security cameras, lighting, signage, garbage dumpster enclosures, and overall site so as to promote an attractive and harmonious commercial development area and work to achieve a commercial/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding commercial properties located in the Village of Pleasant Prairie as well as avoids unreasonable adverse effects to the property values of the surrounding properties and the surrounding neighborhood.
- b. Legal Description: The properties included are collectively known as Lot 1 and 2 of CSM _____ as recorded at the Kenosha County Register of Deeds Office on _____, 2015 as Document _____ (previously a part of Outlot 21 of Prairie Ridge Subdivision), located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie.
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the *Prairie Ridge Commercial Development Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) The DEVELOPMENT is incorporated into the Prairie Ridge Street Lighting District and be responsible for the pro rate share of street lights/energy costs associated with the commercial district street lighting.
 - (iv) All private improvements for this DEVELOPMENT are required to be installed and maintained pursuant to the approved Preliminary Site and Operational Plans and any subsequent Site and Operational Plans approved and on file with the Village.
 - (v) The DEVELOPMENT, including but not limited to, the building(s), sign(s), fence(s), garbage dumpster enclosures, landscaping, parking lot(s), exterior site lighting, etc., and the site as a whole, shall be maintained on a regular basis in a neat,

presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This site maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate on the sites. Annually, or more frequent if necessary, compliance inspections will be performed to verify that the site, development, building, landscaping and signage are being maintained in compliance with the Village approved Site and Operational Plans. Dead site landscaping and diseased street trees and plantings shall be removed and replaced per the approved Landscape Plans; all site landscaping shall be watered, trimmed and maintained; signage shall be repaired and repainted as needed; all structures, trim, and building architectural details shall be cleaned, repainted, fixed, and repaired on a regular basis; and the parking lots shall be surfaced, and striped and repainted on a regular basis.

- (vi) Except as provided herein, the DEVELOPMENT shall be in compliance with ORDINANCE #07-28, adopted by the Village Board on July 16, 2007, and entitled *Prairie Ridge Planned Unit Development Ordinance*. Said Ordinance, as requested by the owners and approved by the Village, may be amended from time to time.
- (vii) The owners of the DEVELOPMENT shall be in compliance with a Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Village.
- (viii) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits (if applicable) and Planned Unit Developments, and Village Licenses and Permits as on file with the Village.
- (ix) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
- (x) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. with the Prairie Ridge entire commercial area included within the Prairie Ridge Subdivision.
- (xi) The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT is sold to another entity(s), the DEVELOPMENT shall continue to operate as a unified commercial development PUD and shall continue to comply with this PUD and all other PUDs that may be applicable to the DEVELOPMENT, which may be amended from time to time. Specifically, but not limited to, the commercial buildings parking lots shall be utilized as a shared parking lots and cross-access easements shall be designed in order to allow and facilitate the movement of vehicular traffic from property to property.
- (xii) Delivery vehicles and trucks shall be parked inconspicuously on the sites. No trucks [e.g. semi cab, semi trailer, construction vehicles (except when permitted construction activities are taking place), step vans, delivery vans (except when goods and merchandise are being delivered), business-related vehicles with advertising displayed on the vehicles, catering vehicles, other commercial vehicles, etc.] shall be parked within the DEVELOPMENT.
- (xiii) Detached/attached outdoor seasonal sale displays and product sales areas (e.g. Christmas tree sales, fruit sales, other seasonal merchandise sales, general merchandise sales, special party supply sales, etc.) shall not be allowed. There shall be no roof mounted or sidewalk displays of merchandise or any other items,

including temporary signage that is not allowed by the Zoning Ordinance. Holiday decorations are allowed insofar as they are timely removed within 21 days after the holiday.

- (xiv) Commercial communication antennas, whips, panels, satellite dishes or other similar transmission or reception devices that are mounted inside the buildings or are adequately camouflaged so as not to be readily seen by the general public, as either an accessory use, as specified in Chapter 420-120 D. (3) of the Village Zoning Ordinance are allowed without approval of a Conditional Use Permit within this Development.
- (xv) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, product, crate, pallet, etc., storage shall be stored inside a building.
- (xvi) No flags, pennants, streamers, inflatable signage, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xvii) No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for extended periods of time advertising the businesses, sales or special offers of the service or retail businesses.
- (xviii) No raceways or box signage or neon tube banding around the buildings shall be permitted on any buildings within the DEVELOPMENT.
- (xix) All wall mounted signage shall be located on the buildings as approved and permitted by the Village. No signage shall cross over the architectural panels or details of the building. Specific signage plans shall be reviewed and approved for each building.
- (xx) The DEVELOPMENT shall comply with the designated business hours of operation and hours of delivery times for the B-2 District at all times during the year, even during the holiday seasons unless expressly approved in writing by the Village.
- (xxi) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xxii) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No extended overnight parking of passenger vehicles is allowed in the parking lots.
- (xxiii) In the event that any tenant requests public transportation to service the DEVELOPMENT, it shall be the responsibility of the requesting party(ies) to fund the cost of providing such public transportation to and from the DEVELOPMENT.
- (xxiv) The Owners shall execute a cross-access parking agreement with a nearby land owner which provides additional parking to serve the properties in the DEVELOPMENT. Furthermore, the DEVELOPMENT shall not be permitted to modify its land uses wherein a greater demand for parking would be required that would increase the parking demands.
- (xxv) The Owners have executed and recorded a Declaration of Easements and Restrictions for the benefit of the Outlot 20 and 21 properties that will be on file with the Village which addresses parking and pedestrian ingress/egress, cross access, site maintenance and land uses.

(xxvi) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.

d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:

- (i) Section 420-119 I (1) related to Lot Size in the B-2 District is amended as follows:
 - (1) Lot size: Lot 1 shall be a minimum of 1.042 acre, Lot 2 shall be a minimum of 0.969 acres. This lot area is allowed to be reduced, if additional right-of-way is acquired in the future roadway improvements.
- (ii) Section 420-119 I (3) related to Open Space is amended as follows:
 - (3) The DEVELOPMENT shall maintain a minimum of 24% open space.
- (iii) Section 420-119 I (4) (c) related to building setbacks is amended as follows:
 - (c) Setbacks:
 - [1] Street Setback: minimum of 65 feet from property line adjacent to STH 50 (75th Street) and a minimum of 31 feet from the property line adjacent to 94th Avenue and 40 feet from the property line adjacent to 76th Street.
 - [2] Side Setback: Lot 1: a minimum of 30 feet from the east side property line.
 - [3] Side Setback Lot 2: a minimum of 27 feet from the east side property line and a minimum of 15 feet from the west side property line.
- (iv) Section 420-47 A related to Driveway spacing between driveways shall be amended as follows:
 - A. The driveway servicing the DEVELOPMENT on 76th Street shall be a minimum of 103 feet as measured from driveway center line to driveway center line from any other driveway on 76th Street
- (v) Section 420-47 E related to setbacks for driveways are amended as follows:
 - E. Setback. The shared access driveways for said Lots may cross property lines with the DEVELOPMENT.
- (vi) Section 420-47 L related to setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be amended as follows:
 - L. Parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be a minimum of 20 feet from the property lines adjacent to 94th Avenue and STH 50 (75th Street) and 15 feet from the property line adjacent to 76th Street; no setback required from side property lines pursuant to the cross access easements shown on said CSM for the DEVELOPMENT.
- (vii) Section 420-48 O (2) related to landscaping is being amended as follows:
 - (2) The ends of each parking aisle shall have a curbed landscaped island. In addition, all parking areas shall provide curbed landscaped island within the parking areas of the DEVELOPMENT as shown on the Site and Operational Plans. All landscaped islands shall be a minimum of seven feet wide from face of curb to face of curb and shall extend the full length of the parking space.

- (viii) Section 420-50 related to minimum parking spaces required requires the following number of parking spaces for the uses with the DEVELOPMENT:
- Restaurant requires a minimum of one (1) space for each 100 square feet of floor area plus one (1) space for every two (2) employees on the largest work shift.
 - Retail store requires a minimum of one (1) space for each 200 feet of primary floor area plus one (1) space for every two (2) employees.
 - Medical and dental offices require a minimum five (5) spaces for every doctor plus one (1) space for every employee.
 - In addition to these minimum parking spaces, the required handicapped accessible parking spaces as required by the State Code shall also be provided.

The DEVELOPMENT provides for 109 parking spaces, which includes five (5) handicapped accessible spaces. This PUD will allow for additional parking requirements to be met off-site (not on the street), but in a nearby or an adjacent parking lot. An Easement Agreement (with the Congregation of St. Anne) for additional parking off-site parking spaces shall be maintained by the property owner for use by this development until and unless other cross access parking is available to make up for the parking space deficiency.

- (ix) Section 420-76 T. related to Primary Monument Signs shall be amended as follows:

T. Primary Monument Signs

- (1) One sign is required for the DEVELOPMENT. Each lot in the DEVELOPMENT may have a sign provided that the signs are not identical in the tenants that they display.
- (2) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted.
- (3) Maximum area: 130 square feet per face.
- (4) Maximum height: 10 feet.
- (5) Minimum setback distance: 15 feet from any public street or highway right-of-way line, five feet from any side property line and shall not be located within any easement wherein such sign is not expressly permitted.
- (6) Shall include the street address of the principal building on the property, including the street number(s) and the name of the street, but such address may be placed on the base of the sign (where they will not count toward the maximum area of the sign display). The street address shall be placed a minimum of 18 inches from grade and the letters and numbers shall be a minimum of 3 inches high.
- (7) Landscaping shall extend a minimum of five (5) feet in every direction from the base or other support structure of the sign.
- (8) May be illuminated.
- (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display constructed or stone or brick to match the building.

(10) The base of the sign shall not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.

(11) May be three-dimensional.

(x) Section 420-78 K related to Aggregate Permitted Background Commercial Advertising Sign Area shall be amended to read as follows:

K. Aggregate permitted background commercial advertising sign area for all tenant spaces/stores on each building in the DEVELOPMENT shall be limited to:

(1) Sign Size: 50 square feet maximum per building façade per tenant/store space.

(2) Sign Height: Three (3) feet Maximum

(3) Compliance with all requirements of Section 420-76 DD entitled Wall Sign as may be amended from time to time.

e. Amendments

(i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.

(ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this ____ day of _____ 2015.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk
Posted: _____



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Preliminary Site and Operational Plan for Out lot 21, Multi-tenant Retail
DATE: 10 July 2015

This is a review of the Preliminary Site and Operational Plan for Outlot 21, Multi-tenant Retail dated 6-12-15. Two proposed buildings with a square footage of 6,250 S.F. and 7,200 S.F. and is located at 76th Street and 94th Avenue.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of these facilities, twice annually. The concerns of the Fire and Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire and Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the plans submitted, we have the following concerns:

- Drawing C-11 shows the incorrect Remote FDC at the Pumper Pad. The FDC shall be built per the current Village Specification including a single 5" storz.
- AED. Owner shall install one public access Automatic External Defibrillator (AED) onsite for employee or customer use in the event of a sudden cardiac arrest, in each building in any assembly tenant area. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser rooms. Remote annunciator panel location(s) will need to be determined.
- Knox Boxes shall be recessed in the building. Knox boxes shall be provided at the main entrances and at the sprinkler riser rooms.
- All outside doors shall have a lock and handle for access from the outside of the structure.
- Need to install the approved fire department connections, Pumper Pads.
- Incoming combination water main must be sized by a Wisconsin Licensed Fire Sprinkler Designer.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- Fire hydrants: Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged. Hydrants must be placed no further than 350 feet apart as measured by normal access routes used by Fire and Rescue Department apparatus. Current Village hydrant specifications must be used.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
- Monument signs must have street address on them.
- All canopies must comply with the adopted International Building Code, including the height requirements.
- All outdoor patio areas shall be protected from vehicles by bollards

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

1. Site accessibility
2. Pumper Pad
3. Fire hydrant spacing

B. Conditional Use and Operational

- | | |
|--------------------------------|--------------------------------|
| 1. Fire alarm pull stations | Not shown at this time. |
| 2. Emergency and Exit Lighting | Not shown at this time. |
| 4. Fire extinguishers | Not shown at this time. |

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. Permit fees must be submitted to the Fire and Rescue Department before any reviews begin. A satisfactory review must be completed before any permits will be issued and before construction can begin.

6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.

7. **The following information must be submitted with the sprinkler plans for review:**

Building height:

Number of stories/floors:

Mezzanines:

Clear space:

Elevators:

Hazard class:

Commodity:

Maximum storage height:

Square footage, office space:

Exterior storage:

Fire protection:

8. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

9. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

10. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

11. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.

- a. All exterior exit pathways as well as access to the Fire Sprinkler Room shall have a hard surface, leading to a hard surface.

12. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Fire sprinkler protection is also indicated on the submitted plans.

13. **Water Service:** If it is determined that the building will be serviced by a combination

municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.

14. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
15. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the buildings, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
16. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
17. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
18. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.
19. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.

20. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
21. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
22. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire and Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies.
 - h. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
- 1) The central station shall be provided with this information regarding the geographical location of this alarm:
Village of Pleasant Prairie, County of Kenosha, State of Wisconsin
Fire: Pleasant Prairie Fire & Rescue

Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

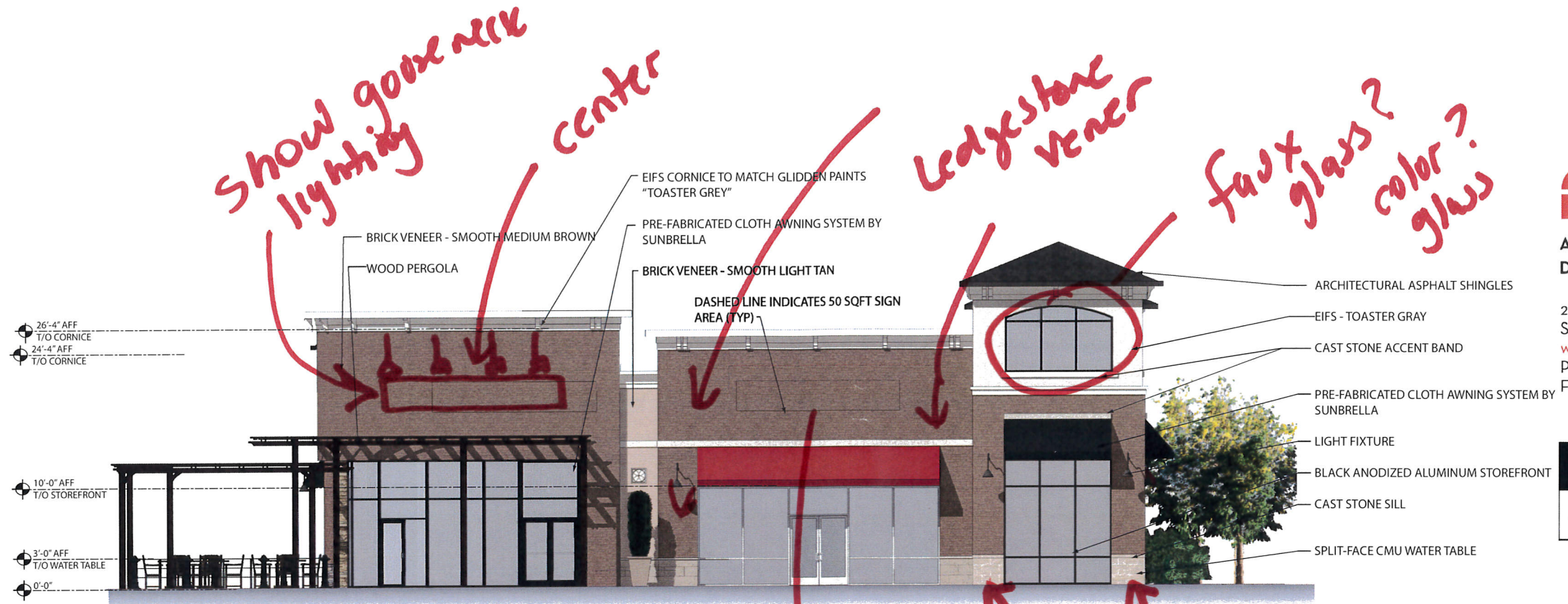
Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

23. **Knox Box:** Knox Boxes shall be provided for the buildings. One by main entrance door of each building, and one at the door nearest the fire riser room of each building. The Knox Boxes shall be Model 4400, and the recessed type. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
24. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each building to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the riser Room.
25. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
26. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire sprinkler riser room.
27. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/ duct, smoke, etc...
 - i. Copies of all underground and above ground tank documents.

- j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - k. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - l. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado.
 - m. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - n. AED, in place at time of occupancy.
 - o. A copy of the Emergency Plan must be submitted to the Fire and Rescue Department before occupancy.
28. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
29. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.



ARCHITECTURAL DESIGN GUILD

2710 Sutton Boulevard
 St. Louis, Missouri 63143
www.adg-stl.com
 P:: 314.644.1234
 F:: 314.644.4373

oldacre
mcdonald

North Elevation



East Elevation

Design Development Plans

Proposed New Development
 (Outlot 21)
 75th Street & 94th Avenue
 Pleasant Prairie, WI

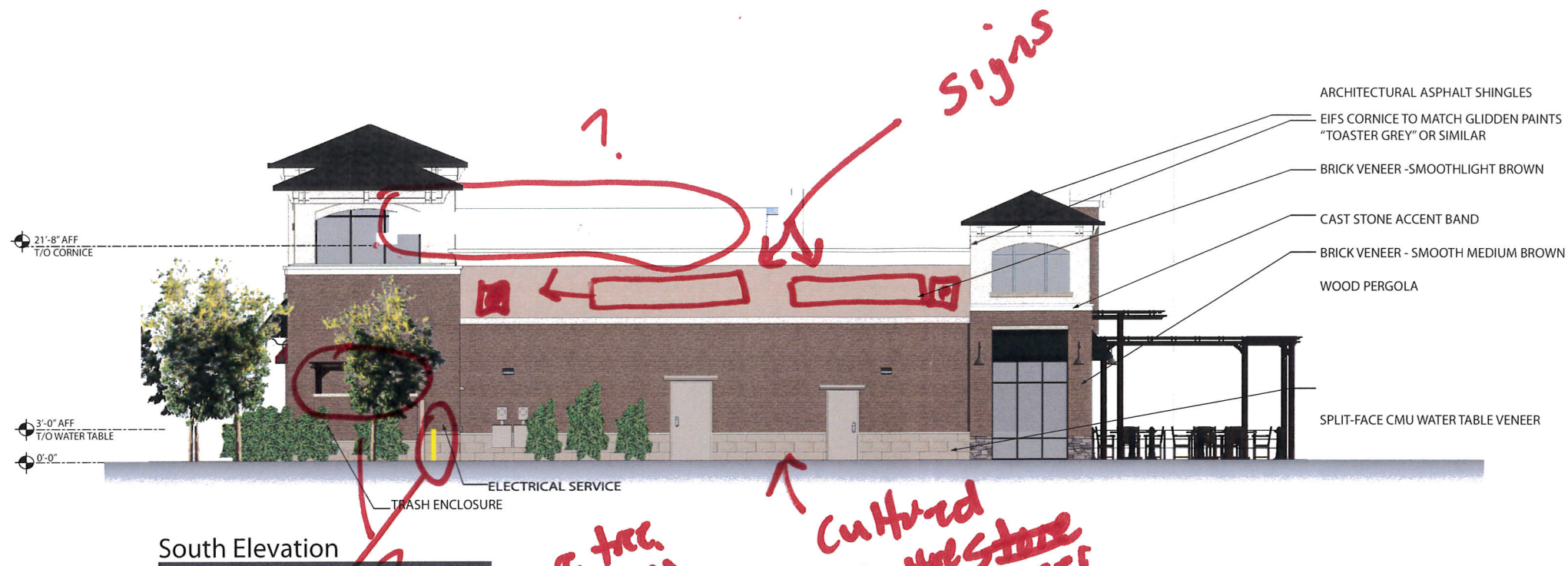
June 12, 2015



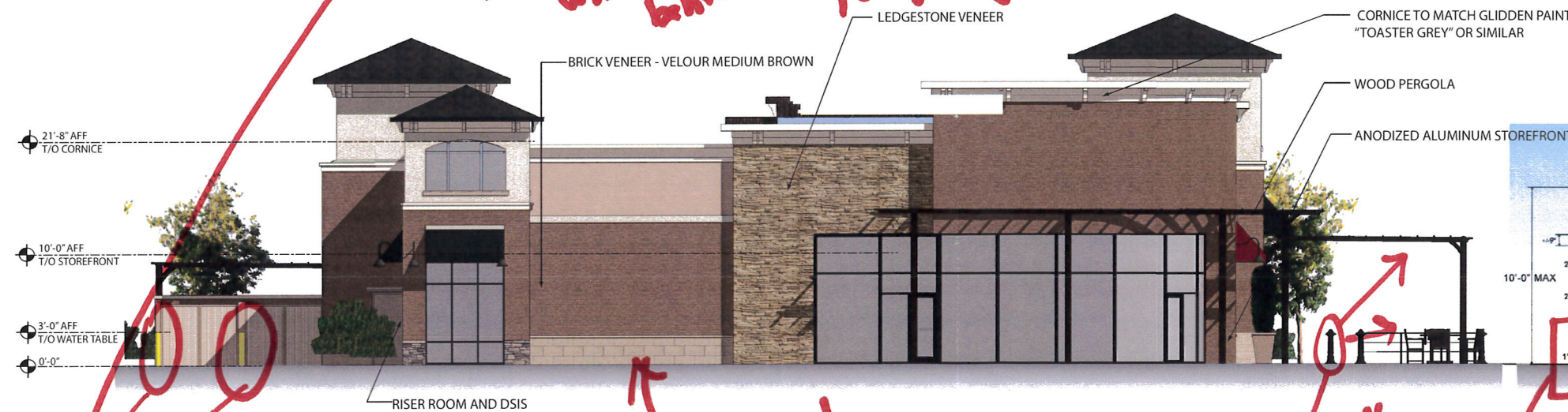
ARCHITECTURAL
DESIGN GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P: 314.644.1234
F: 314.644.4373

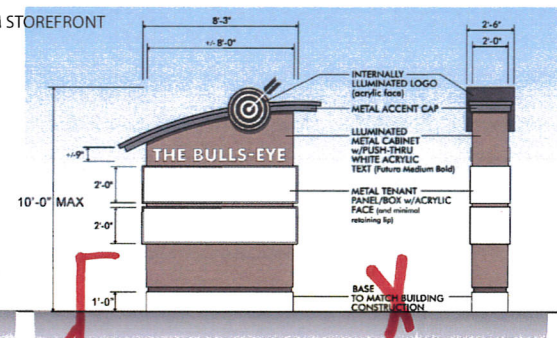
oldacre
mcdonald



South Elevation



East Elevation



Monument Sign N.T.S.

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015

*Label Restaurant C
Office
Restaurant E*

*Needs to
match
sign
plan*

*w/ address
brick
sign
base*

*black
not yellow
bollards*



North Elevation



East Elevation



**ARCHITECTURAL
DESIGN GUILD**

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P: 314.644.1234
F: 314.644.4373



*Label
Restaurant C
Office D
Restaurant E*

Need color/paint materials

Design Development Plans

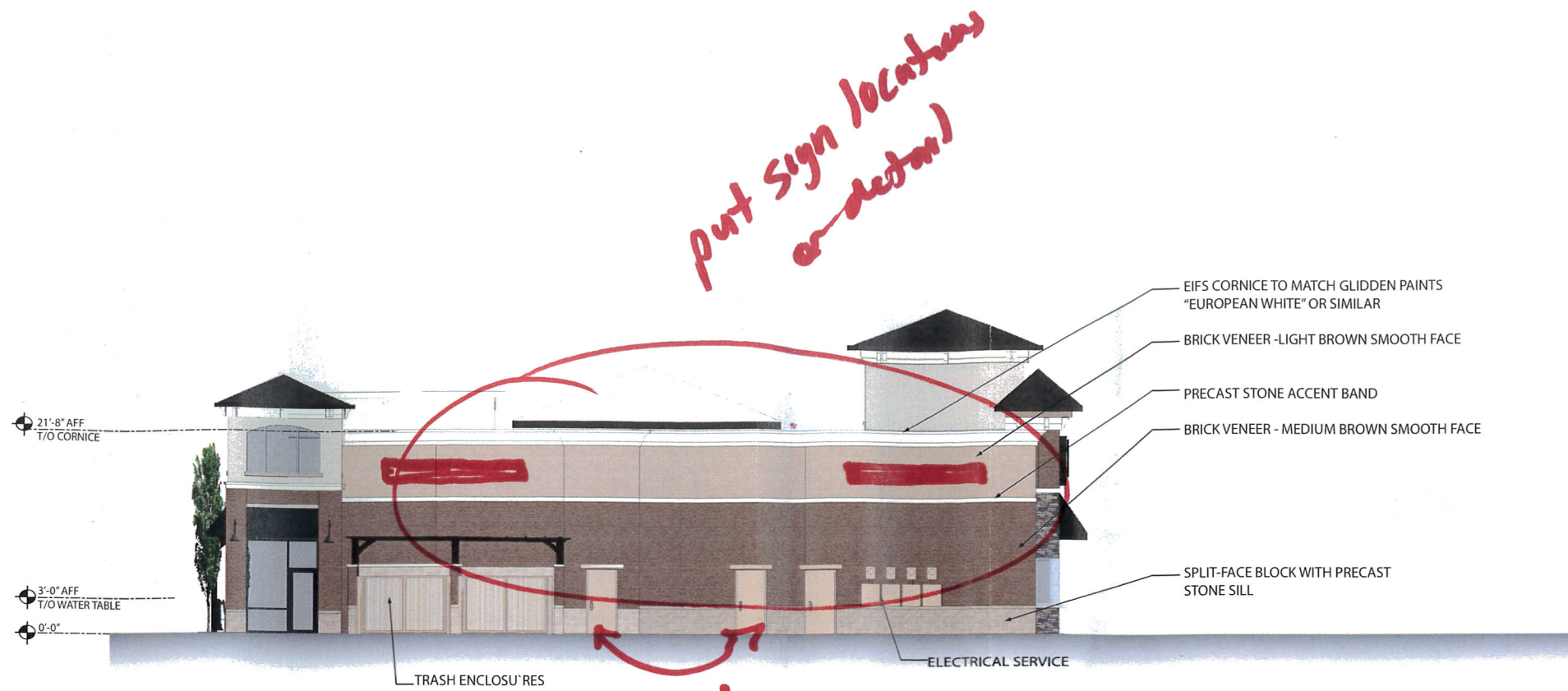
Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015

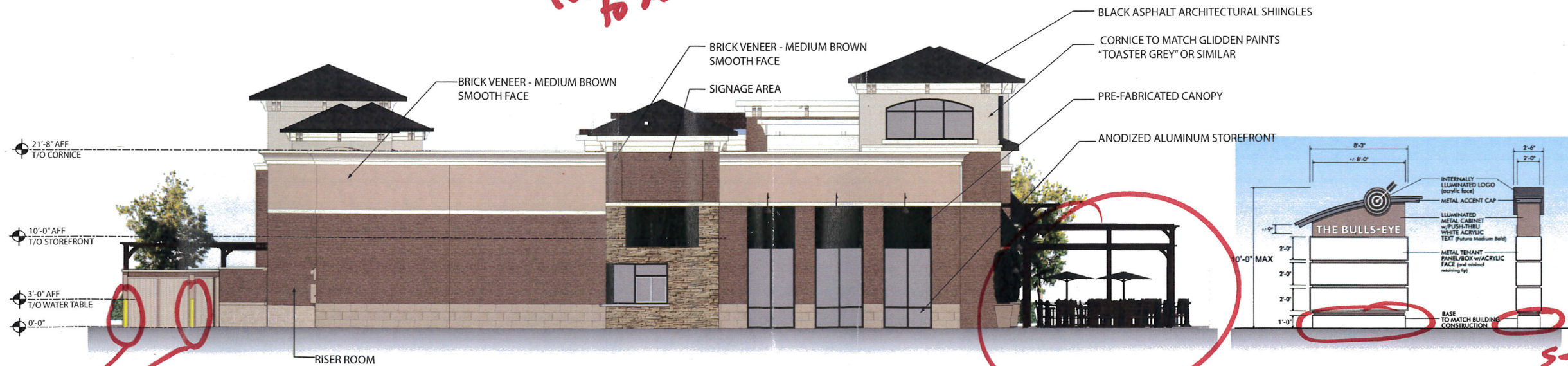


ARCHITECTURAL
DESIGN GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



South Elevation



East Elevation

Monument Sign N.T.S.

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015

black

what colors to match

blow up detail - too hard to see

stone 1 1/2" min w/ address brick base



Filed 6/12 2015
 Fee Paid 6/12 2015
 PC Meeting Date 7/13 2015
 VB Meeting Date 7/20 2015
 Approved _____ 20____
 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
 CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: SE Corner of STH 50 & 94th Avenue
 and is legally described as follows: Outlot 21, Prairie Ridge Subdivision

Tax Parcel Number(s): 91-4-122-081-0210

- The property abuts or adjoins a State Trunk Highway Yes No
- The property abuts or adjoins a County Trunk Highway Yes No
- Municipal Sanitary Sewer is available to service said properties Yes No
- Municipal Water is available to service said properties Yes No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SB1 Pleasant Prairie WI, LLC.
 Signature: [Signature]
 Address: C/O Starwood CPTL GRP M Carlin
591 W Putnam, Greenwich, CT, 06830
 (City) (State) (Zip)
 Phone: (312) 759-5020
 Fax: _____
 Date: June 12, 2015

OWNER'S AGENT:

Print Name: Mark D. Eberle, P.E. / Nielsen Madsen Barber
 Signature: [Signature]
 Address: 1456 Horizon Blvd. STE. 200
Racine, WI, 53406
 (City) (State) (Zip)
 Phone: 262-634-5588
 Fax: 262-634-5024
 Date: June 12, 2015

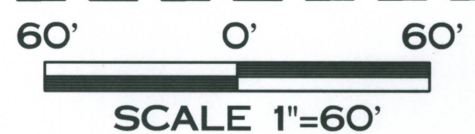
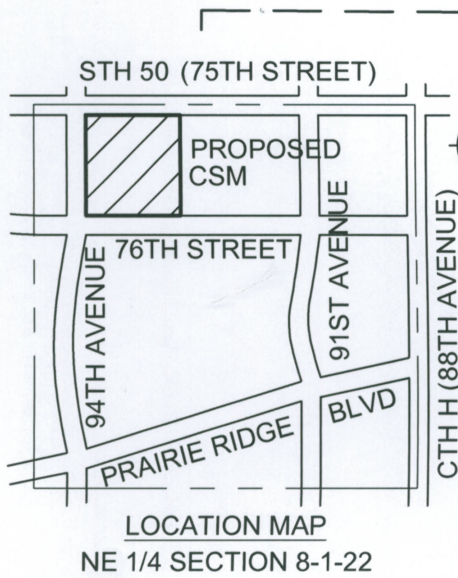
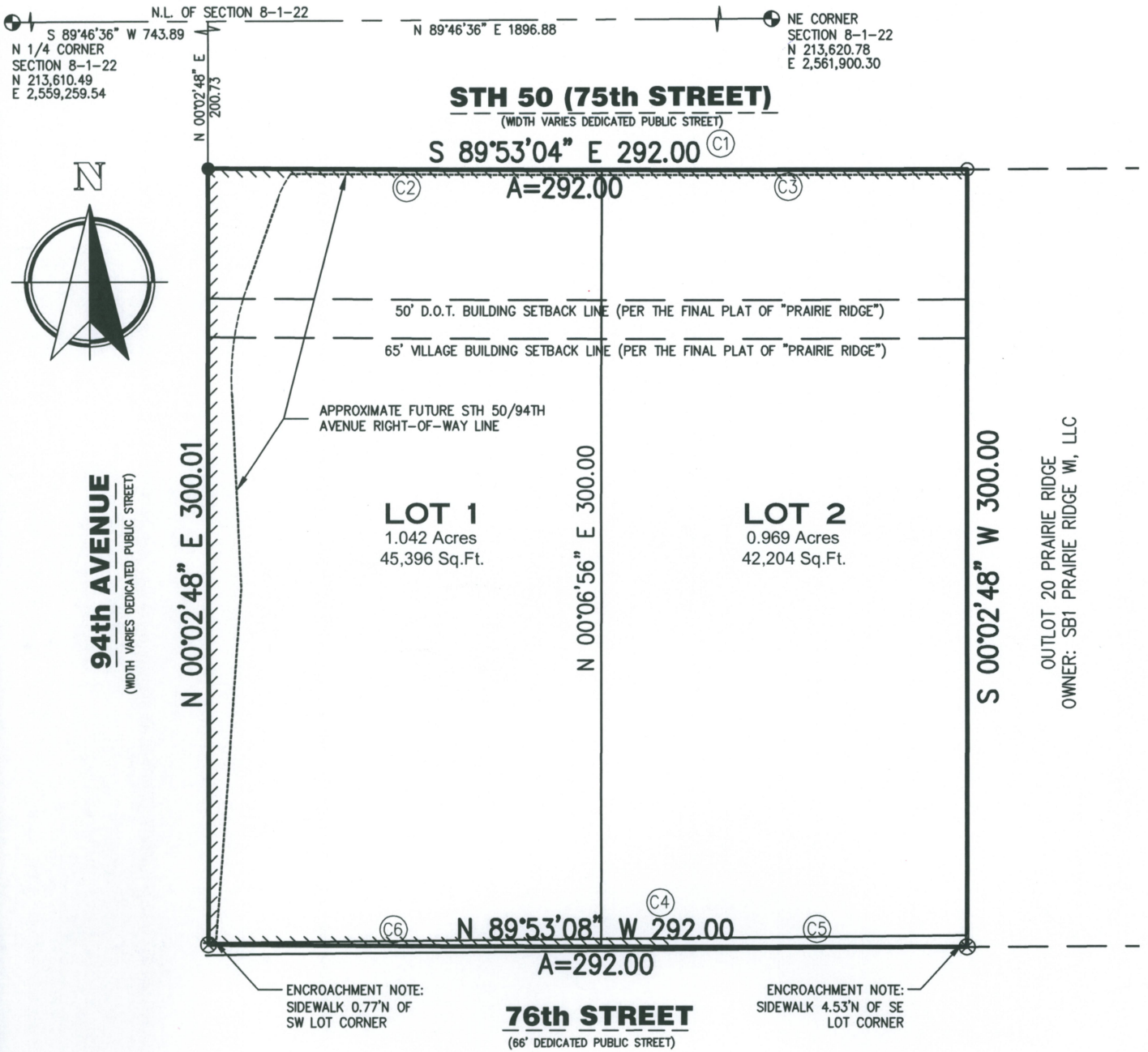
RECEIVED

JUN 12 2015

PLEASANT PRAIRIE

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



- NOTES:**
- ZONING OF PARCEL IS B-2 (PUD)
 - OWNER/LAND DIVIDER: OLDACRE McDONALD, LLC
5819 BRISTLECONE CT., ST. LOUIS, MO 63129
 - SURVEYOR: NIELSEN MADSEN & BARBER, S.C.
1458 HORIZON BLVD. SUITE 200, RACINE, WI 53406
 - ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.
 - BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.
- LEGEND:**
- ⊗ CHISEL "+"
 - 1" O.D. IRON PIPE FOUND
 - 1.315" O.D.x18" IP - 1.68LBS/LIN FT. SET
 - ⊕ 6" CONC. MON. W / BRASS CAP FOUND
 - //// NO VEHICULAR ACCESS

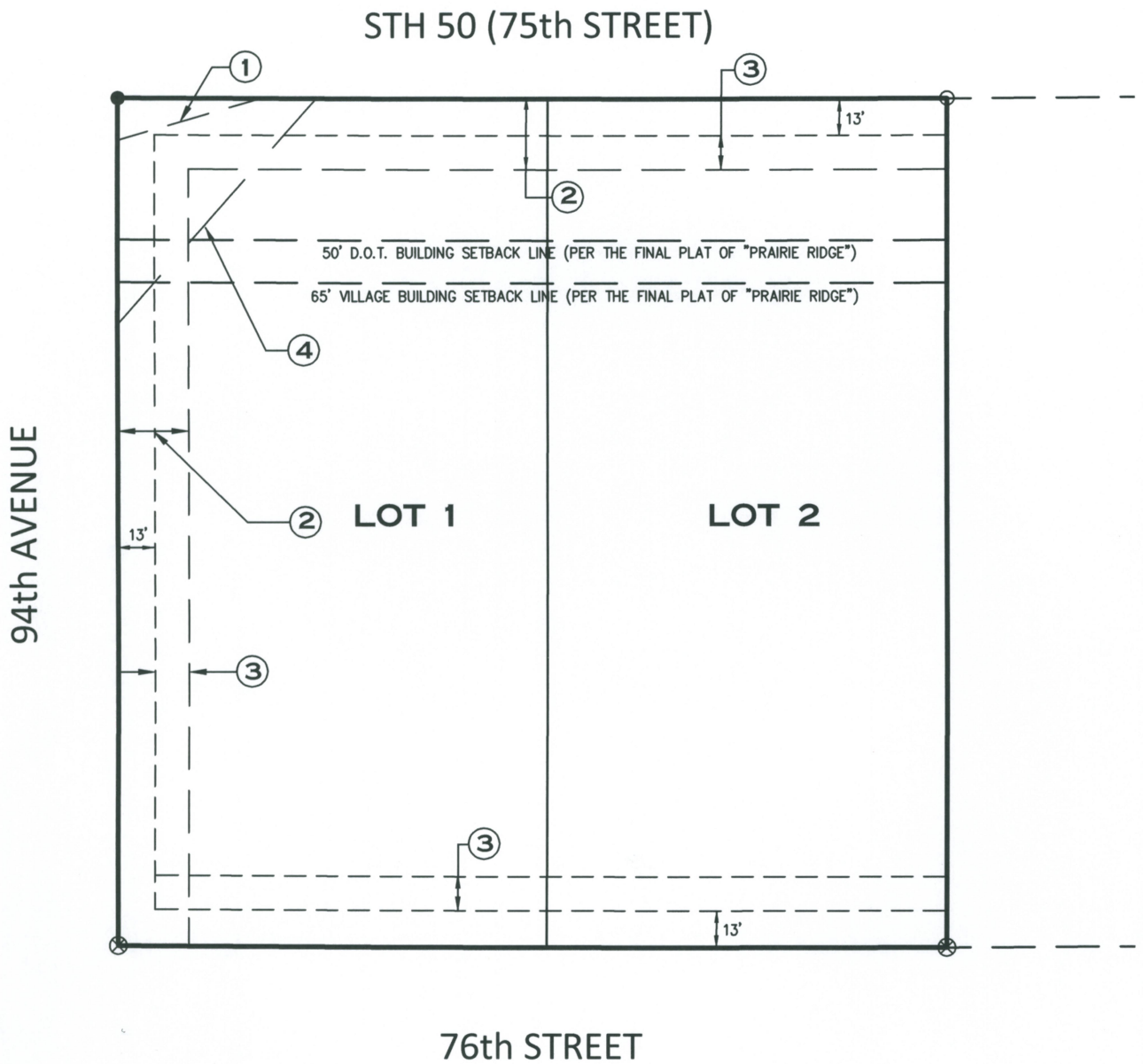


Date: June 12, 2015
 This Instrument was drafted by Mark R. Madsen
 PROJECT ID: 2015.0011.01

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EASEMENTS AND RESTRICTIONS PREVIOUSLY RECORDED ON PRAIRIE RIDGE SUBDIVISION PLAT



- ① 15'x50' V.T.E DEDICATED VISION TRIANGLE EASEMENT PER VILLAGE ORDINANCE (ILLUST. #2, SEC. 12-13-1). (PER PLAT OF PRAIRIE RIDGE)
- ② 25' WIDE DEDICATED PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA, EXCEPT AS OTHERWISE AGREED TO BY THE VILLAGE OF PLEASANT PRAIRIE. (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (PER PLAT OF PRAIRIE RIDGE)
- ③ 12' WIDE DEDICATED UTILITY EASEMENT AREAS TO WISCONSIN ELECTRIC POWER COMPANY, AMERITECH, AND TIME WARNER CABLE (PER THE FINAL PLAT OF "PRAIRIE RIDGE")
- ④ 70'x80' DEDICATED ENTRY MONUMENT EASEMENT (PER THE FINAL PLAT OF "PRAIRIE RIDGE")



SCALE 1"=60'

SHEET 2 OF 11 SHEETS

Date: June 12, 2015
This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2015.0011.01



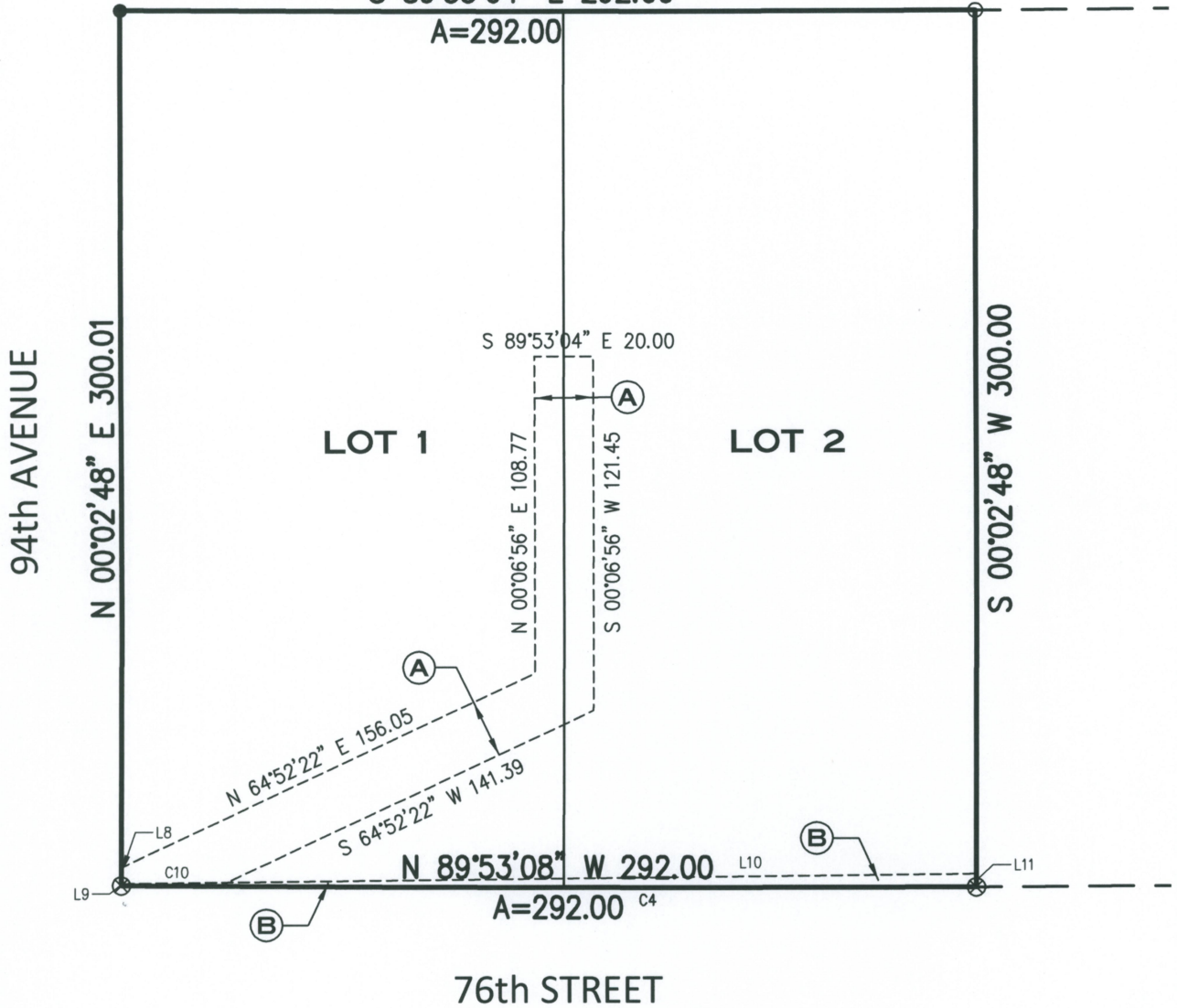
CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS
DEDICATED 20' WIDE STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT

DEDICATED PUBLIC SIDEWALK, ACCESS AND MAINTENANCE EASEMENT

STH 50 (75th STREET)
 S 89°53'04" E 292.00



- (A) 20' WIDE DEDICATED STORM WATER DRAINAGE, ACCESS, AND MAINTENANCE EASEMENT.
- (B) DEDICATED PUBLIC SIDEWALK ACCESS AND MAINTENANCE EASEMENT.



SCALE 1"=150'

Date: June 12, 2015
 This Instrument was drafted by Mark R. Madsen
 PROJECT ID: 2015.0011.01



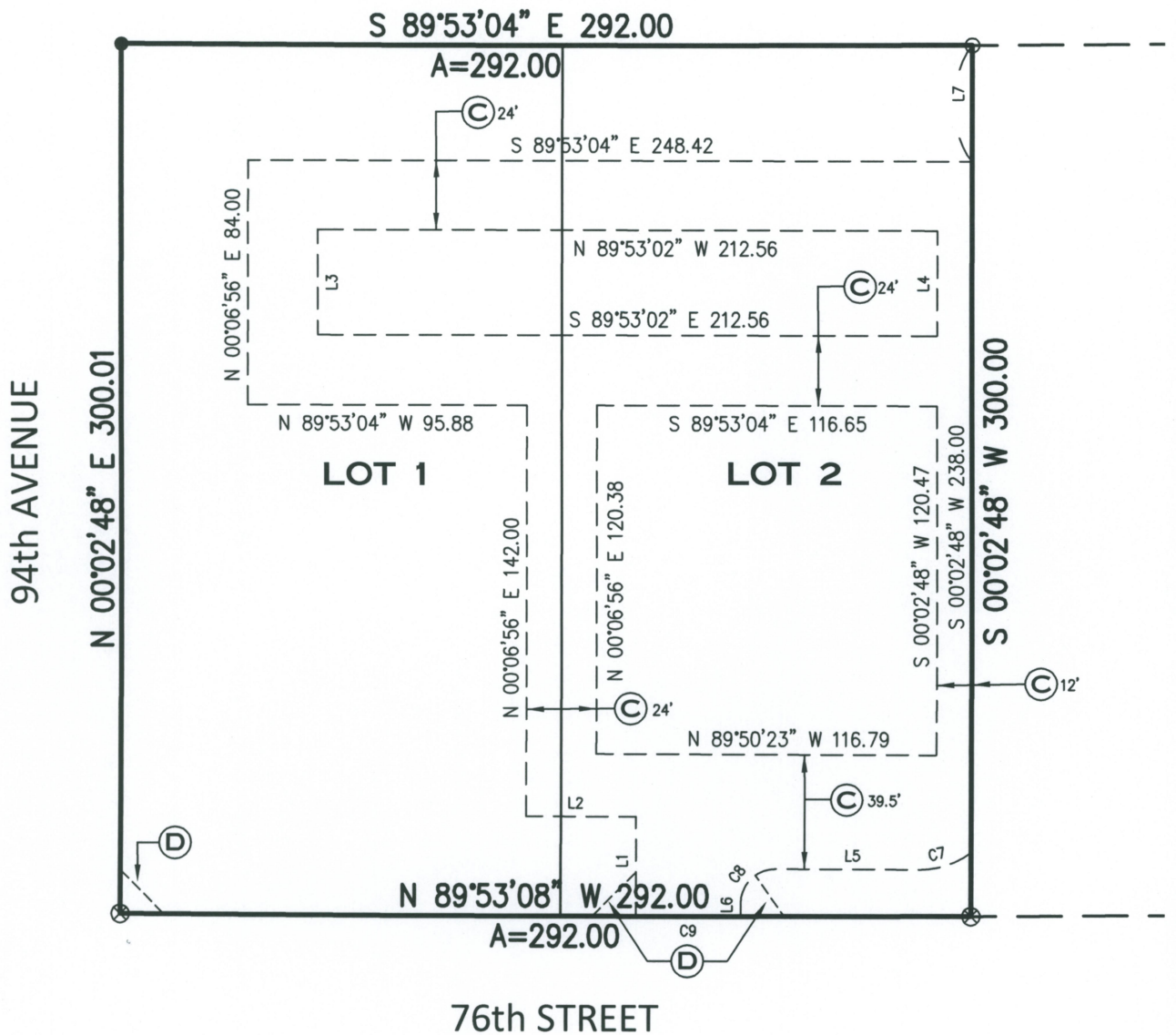
CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS DEDICATED INGRESS-EGRESS, CROSS ACCESS AND MAINTENANCE EASEMENT

15'x15' VISION TRIANGLE EASEMENT

STH 50 (75th STREET)



(C) DEDICATED INGRESS-EGRESS, CROSS ACCESS AND MAINTENANCE EASEMENT.

(D) 15'x15' DEDICATED VISION TRIANGLE EASEMENT.



SCALE 1"=150'

Date: June 12, 2015
This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2015.0011.01



SHEET 4 OF 11 SHEETS

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE
NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH,
RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY,
WISCONSIN.

Boundary Curve Table							
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length	Tangent Bearing
C1	0°43'39"	22998.33	292.00	146.00	S89° 53' 04"E	292.00	S89°31'15"E N89°45'06"E
C2	0°22'39"	22998.33	151.50	75.75	S89° 42' 34"E	151.50	S89°31'15"E S89°53'54"E
C3	0°21'00"	22998.33	140.50	70.25	N89° 55' 36"E	140.50	S89°53'54"E N89°45'06"E
C4	0°43'05"	23295.47	292.00	146.00	N89° 53' 08"W	292.00	N89°31'36"W S89°45'19"W
C5	0°20'47"	23295.47	140.86	70.43	S89° 55' 42"W	140.86	N89°53'54"W S89°45'19"W
C6	0°22'18"	23295.47	151.14	75.57	N89° 42' 45"W	151.14	N89°31'36"W N89°53'54"W

Ingress-Egress Line Table		
Line #	Length	Direction
L1	34.38	N00° 00' 26"W
L2	37.75	N89° 53' 04"W
L3	36.00	N00° 06' 56"E
L4	36.00	S00° 06' 56"W
L5	49.20	N89° 50' 23"W
L6	4.11	S00° 00' 26"E
L7	40.05	S00° 02' 48"W



Ingress-Egress Curve Table							
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length	Tangent Bearing
C7	37°07'57"	29.50	19.12	9.91	S71° 35' 39"W	18.79	N89°50'23"W S53°01'40"W
C8	90°10'04"	12.00	18.88	12.04	S45° 04' 35"W	17.00	S00°00'26"E N89°50'23"W
C9	0°05'19"	23295.47	36.00	18.00	S89° 59' 38"W	36.00	N89°57'43"W S89°56'59"W

Storm Easement Line Table		
Line #	Length	Direction
L8	6.25	N00° 02' 48"E

Storm Easement Curve Table							
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length	Tangent Bearing
C10	0°04'54"	23295.47	33.25	16.63	N89° 34' 03"W	33.25	N89°31'36"W N89°36'30"W

Sidewalk Easement Line Table		
Line #	Length	Direction
L9	0.74	N00° 02' 48"E
L10	292.02	N89° 22' 10"E
L11	4.53	S00° 02' 48"W

Sidewalk Easement Curve Table							
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length	Tangent Bearing
C4	0°43'05"	23295.47	292.00	146.00	N89° 53' 08"W	292.00	N89°31'36"W S89°45'19"W

Date: June 12, 2015
 This Instrument was drafted by Mark R. Madsen
 PROJECT ID: 2015.0011.01

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATION AND EASEMENT PROVISIONS PREVIOUSLY RECORDED ON PRAIRIE RIDGE (EASEMENT TEXT MODIFIED VIA THIS CSM)

15' X 50' DEDICATED VISION TRIANGLE EASEMENT (EASEMENT 1 - PREVIOUSLY DEDICATED ON PRAIRIE RIDGE)

Nonexclusive easements coextensive with the areas shown as a 15'x50' Dedicated Vision Triangle Easement on Lot 1 of this CSM have been dedicated, given, granted and conveyed by V.K. Development Corporation to the Village of Pleasant Prairie ("the Village") to maintain a clear sight line of vision at each identified intersection. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, vegetation and shelters within the 15'x50' Dedicated Vision Triangle Easement area between the heights of two (2) feet and ten (10) feet unless approved by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village.

25' DEDICATED PLANTING AND LANDSCAPE EASEMENT (EASEMENT 2 - PREVIOUSLY DEDICATED ON PRAIRIE RIDGE)

Nonexclusive easements coextensive with the areas shown on Lots 1 and 2 of this CSM as a 25' Wide Dedicated Planting and Landscape Easement and Restricted Planting, Landscape and Vehicle Non-access Area were dedicated, given, granted and conveyed by V.K. Development Corporation to the Owner of Lot 1 and 2 of this CSM and the Village for the purposes of grading, planting and installing trees, shrubs and other landscape elements and all related ingress and egress, replacement and maintenance activities. In the event of any conflict between the rights of the Owner(s) and the rights of the Village with respect to the 25' Wide Dedicated Planting and Landscape Easement and Restricted Planting, Landscape and Vehicle Non-access Area, the Village's rights under these easements shall be deemed to be superior. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements. The Owner of Lot 1 and 2 of this CSM shall be responsible for all costs associated with grading, planting and installing trees, shrubs and other landscape elements and all related replacement and maintenance activities within these nonexclusive easement areas in accordance with the master landscaping plan approved by the Village.

DEDICATED UTILITY EASEMENT AREAS (EASEMENT 3 - PREVIOUSLY DEDICATED ON PRAIRIE RIDGE)

Nonexclusive easements coextensive with the areas shown on Lots 1 and 2 of this CSM as Dedicated Utility Easement Areas have been dedicated, given, granted and conveyed by V.K. Development Corporation to Wisconsin Electric Power Company, AT&T and Time Warner Cable, Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees"), for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the Lots (or portions thereof) as shown on this CSM and for any related ingress and egress. This easement shall also include the right to trim or cut down trees, bushes, branches, and roots as reasonably required which may be interfering with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the easement areas shall not be altered by more that four (4) inches of final grade without the written approval of the Utility and Communications Grantees. Upon the installation of the utilities, the Lot Owner(s) shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement is entered into between the Lot Owner(s) and Grantees regarding the transfer of the restoration and maintenance responsibilities to the Grantees. No buildings, fences, or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees. deemed to be superior.



CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATION AND EASEMENT PROVISIONS PREVIOUSLY RECORDED ON PRAIRIE RIDGE (EASEMENT TEXT MODIFIED VIA THIS CSM)

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way and private roadway easement areas with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas and public roadway areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public roadway areas to a vegetatively stabilized condition, the Association, or in the event the Association or the Declaration cease to exist, the Lot Owners shall be ultimately responsible for the costs of such restoration and may pursue their remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public or private roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

70'x80' DEDICATED MONUMENT SIGN, ACCESS AND MAINTENANCE EASEMENT (EASEMENT 4 - PREVIOUSLY DEDICATED ON PRAIRIE RIDGE)

Nonexclusive easements coextensive with the area shown as a 70' X 80' Dedicated Monument Sign, Access and Maintenance Easement on Lot 1 of this CSM has been dedicated, given, granted and conveyed by V.K. Development Corporation for the purposes of placing, constructing, installing, repairing, replacing and maintaining monument signage benefiting businesses elsewhere within Prairie Ridge; and for all ingress, egress, planting, installing, replacing and maintaining related landscape elements. This Dedicated Monument Sign, Access and Maintenance Easement shall be exclusive, except for (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof and (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Lot Owner as will not interfere with the improvements, uses and purposes of the Lot Owner and the Village as it relates to the easement. In the event of any conflict between the rights of the Lot Owner, the rights of the Village and the rights of other entities with respect to the Dedicated Monument Sign, Access and Maintenance Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under the easement. The easement rights include the perpetual right to enter upon Lot 1 of this CSM within the Dedicated Monument Sign, Access and Maintenance Easement area at any time that it may see fit, to use, maintain, repair, alter or reconstruct the monument signs and related improvements.



CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS

20' WIDE DEDICATED PRIVATE STORM WATER MANAGEMENT, ACCESS AND MAINTENANCE EASEMENT (A)

A nonexclusive easement coextensive with the area shown as a 20' Wide Dedicated Private Storm Water Management, Access and Maintenance Easement on Lots 1 and 2 of this CSM is hereby dedicated, given, granted and conveyed by the Owner / Land Divider to the Owner(s) of Lots 1 and 2 and the Village of Pleasant Prairie ("the Village") for storm water drainage purposes and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. This 20' Wide Dedicated Private Storm Water Management, Access and Maintenance Easement shall be exclusive, except for (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof, (2) such above-ground use, planting, care and maintenance responsibilities of the easement area which shall be required by the Owner(s) of Lots 1 and 2 on which such easement is located as will not interfere with the improvements, uses and purposes of the Village and the Owner(s) of Lots 1 and 2 as they relate to the easement, and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the easement area as may be approved by the Village. In the event of any conflict between the rights of the Owner / Land Divider, the rights of the Village and the rights of the Owner(s) of Lots 1 and 2 or other entities with respect to the 20' Wide Dedicated Storm Water Management, Access and Maintenance Easement area, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under the easement. The Owner / Land Divider shall be responsible for all costs associated with the construction and maintenance of the storm sewer and drainageway improvements contained within the exclusive easement until such time as such maintenance responsibility is transferred to the Association. Any Village costs that may be incurred in the repair, alteration, replacement or maintenance activities of said improvements may be invoiced by the Village as a special charge against Lots 1 and 2 and any other properties using the easement area or said improvements.

The easement rights include the right to enter upon Lots 1 and 2 within the 20' Wide Dedicated Private Storm Water Management, Access and Maintenance Easement area at any time to reconstruct, maintain, use and repair the underground storm sewer main(s) and related appurtenances, which may in any manner be a part of or portion to such storm sewer mains for the purpose of conveying storm water under Lots 1 and 2, together with the right to excavate, reconstruct, maintain, use and repair the storm water management system improvements, and the further right to remove trees, bushes, parking/driveway pavement areas, landscaping, landscaped islands, sidewalks, curbs and gutters, signage, underground and other obstructions interfering with the location, reconstruction, use and maintenance of the storm water management system improvements.

This grant is further subject to the condition that the Owner(s) of Lots 1 and 2 shall, at their expense, reconstruct and repair the storm water drainage system improvements as deemed necessary by the Village. Upon completion of any such reconstruction or repair to the storm water drainage system improvements, the Owner(s) of Lots 1 and 2 shall restore the easement area to its prior grade and condition including any restoration such as and without limitation, the replacement of pavement, concrete curbs and gutters, sidewalks, signage, landscaping or landscaped islands or any other improvements requiring repair resulting from such reconstruction and repair.



Date: June 12, 2015

This Instrument was drafted by Mark R. Madsen
PROJECT ID: 2015.0011.01

SHEET 8 OF 11 SHEETS

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS

DEDICATED SIDEWALK, ACCESS AND MAINTENANCE EASEMENT (B)

A perpetual nonexclusive easement coextensive with the area shown as a Dedicated Sidewalk, Access and Maintenance Easement on Lots 1 and 2 of this CSM is hereby dedicated, given, granted and conveyed by Owner / Land Divider to the Owner(s) of Lots 1 and 2 of this CSM and the Village for public pedestrian walkway, bicycle, access, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. This dedicated Sidewalk, Access and Maintenance Easement shall be exclusive, except for: (1) the Dedicated Planting and Landscape Easement as dedicated on Plat of Prairie Ridge with respect to the same area or any portion thereof and (2) the Owner's use, planting and irrigating, care and maintenance of the Sidewalk, Access and Maintenance Easement area on Lots 1 and 2, as it will not interfere with the improvements, uses and purposes of the Village. In the event of any conflicts between the rights of the Village pursuant to this Easement and the rights of any other persons or entities with respect to this Easement, the Village's rights under this Easement shall be deemed to be superior.

DEDICATED INGRESS, EGRESS AND CROSS ACCESS EASEMENT (C)

Nonexclusive easements coextensive with the area shown as a Dedicated Ingress, Egress and Cross Access Easement on Lots 1 and 2 of this CSM are hereby dedicated, given, granted and conveyed by the Owner / Land Divider to the Owner(s) of Lots 1 and 2 and the Village for vehicular and pedestrian ingress, egress and cross access purposes. In the event of any conflict between the rights of the Owner, the rights of the Village and the rights of the Lot Owner(s) or other entities with respect to the Dedicated Ingress, Egress and Cross Access Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under the easement. The Owner(s) of Lots 1 and 2 shall be responsible for all costs associated with the construction, snow plowing and maintenance of the shared "private access drive(s)" and associated pavement and landscaping improvements.

DEDICATED VISION TRIANGLE EASEMENT (D)

Nonexclusive easements coextensive with the areas shown as a 15'x15' Dedicated Vision Triangle Easements on Lots 1 and 2 of this CSM are hereby dedicated, given, granted and conveyed by the Owner / Land Divider to the Owner of Lots 1 and 2 and the Village to maintain a clear sight line of vision at each identified intersection. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, vegetation and shelters within the 15'x15' Dedicated Vision Triangle Easement between the heights of two (2) feet and ten (10) feet unless approved by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village.



CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, MARK R. MADSEN, Professional Land Surveyor, hereby certify:
THAT I have prepared this Certified Survey Map at the direction of the OWNER / LAND DIVIDER; THAT the exterior boundaries are described as the Redivision of Outlot 21, of Prairie Ridge Subdivision, being that part of the Northwest 1/4 of the Northeast 1/4 of Section 8 Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Begin at the Northeast corner of said Outlot 21 being a point on the South line of the South right-of-way of STH 50 (75th Street); run thence S00°02'48"W 300.00 feet to a point on the North line of the North right-of-way of 76th Street and a point on a curve of Southerly convexity whose radius is 23295.47 feet and whose chord bears S89°53'08"W 292.00 feet; thence Southwesterly 292.00 feet along the arc of said curve to the Easterly right-of-way of 94th Avenue; thence N00°02'48"E 300.01 feet along said Easterly line to the South right-of-way of STH 50 (75th Street) and the point of curvature of a curve of Southerly convexity whose radius is 22998.33 feet and whose chord bears S89°53'04"E 292.00 feet; thence Northeasterly 292.00 feet along the arc of said curve and said South line to the point of beginning. Containing 2.011 acres.

THAT said Certified Survey Map is a correct representation of all of the exterior boundaries of the land surveyed and the division thereof made and I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

June 12, 2015

Mark R. Madsen
Mark R. Madsen, S-2271
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd., Suite 200
Racine, WI 53406
(262) 634-5588



OWNER'S CERTIFICATE OF DEDICATION

OLDACRE McDONALD, LLC, as Owner does hereby certify that it caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map and does further certify that this Certified Survey Map is required by s.236.34 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

OLDACRE McDONALD, LLC

Signed: _____

Andrew Prince, President

IN WITNESS WHEREOF, this _____ day of _____, 2015.

Witness: _____

CERTIFIED SURVEY MAP NO. _____

BEING A REDIVISION OF OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

STATE OF _____)
COUNTY OF _____) SS.

Personally came before me this _____ day of _____, 2015, the above-named person of said corporation to me known to be the person who executed the foregoing instrument and to me known to be such _____ of said Limited Liability Corporation, and acknowledged that he executed the foregoing as such officer of said Limited Liability Corporation, by its authority.

My Commission Expires: _____

VILLAGE PLAN COMMISSION APPROVAL

Approved by the Village Plan Commission, Village of Pleasant Prairie on this _____ day of _____, 2015.

Thomas W. Terwall, Chairman

VILLAGE BOARD APPROVAL

Approved by the Village Board, Village of Pleasant Prairie on this _____ day of _____, 2015.

John P. Steinbrink, Village President

Attest: _____
Jane M. Romanowski, Village Clerk





Filed 6/12 2015 Published 6/29 2015
 Public Hearing 7/13 2015 7/6 2015
 Fee Paid 6/12 2015 Approved _____ 20____
 Notices Mailed 6/25 20____ Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2 (PUD) District(s) to B-2 (PUD) District(s). The property petitioned to be rezoned is located at: SE Corner STH 50 & 94th Ave and is legally described as follows: Outlot 21, Prairie Ridge Subdivision

Tax Parcel Number(s): 91-4-122-081-0210

The proposed use for this property is: Multi-Tenant Retail

Petitioner's interest in the requested rezoning: Owner / Developer

Compatibility with adjacent land uses: Yes

I (We) are also requesting a Zoning Text Amendment to amend Section See Attached of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SB1 Pleasant Prairie WI, LLC.

Signature: [Signature]

Address: C/O Starwood CPTL GRP M Carlin

591 W Putnam, Greenwich, CT, 06830
 (City) (State) (Zip)

Phone: (312) 759-5020

Fax: _____

Email: dgalowich@madisionchicago.com

Date June 12, 2015

OWNER'S AGENT:

Print Name: Mark D. Eberle, P.E. / Nielsen Madsen Barber

Signature: [Signature]

Address: 1458/Horizon Blvd. STE. 200

Racine WI 53406
 (City) (State) (Zip)

Phone: 262-634-5588

Fax: 262-634-5024

Email: meberle@nmbssc.net

Date: June 12, 2015

RECEIVED

JUN 12 2015

PLEASANT PRAIRIE



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

June 12, 2015

Ms. Jean Werbie - Harris
Village of Pleasant Prairie
9915 – 39th Avenue
Pleasant Prairie, WI 53158

RE: Outlot 21 Multi-Tenant Retail Project
Planned Unit Development Overlay Request
File No. 2015.0011.01

Dear Jean:

Oldacre McDonald, LLC., developer of the above-referenced project, is hereby requesting an amendment to the current Planned Unit Development (PUD) overlay on Outlot 21 to accommodate the proposed two (2) building, five (5) unit multi-tenant retail / restaurant / office development as shown on the enclosed plans. As part of this amendment, they are requesting the following “Dimensional Variances” from the Village of Pleasant Prairie Code of Ordinances:

- 1) Chapter 420-119 I.1. (B-2 Community Business District / Lot Size) to allow for 1.04 and 0.97 acre lots in lieu of the required 2.0 acre minimum.
 - Reason for Variance: To allow for the creation of two (2) separate parcels containing one (1) multi-tenant building each. This two (2) building scenario allows for multiple “end-cap” units which are highly desirable for restaurant type uses.
- 2) Chapter 420-119 I.1. (B-2 Community Business District / Open Space) to allow for twenty-four percent (24%) open space in lieu of the required thirty percent (30%).
- 3) Chapter 420-119 I.4.c.1. (B-2 Community Business District / Building Street Yard Setback) to allow for a thirty-one foot (31’) street yard setback to 94th Avenue in lieu of the required forty feet (40’).
- 4) Chapter 420-119 I.4.c.2. (B-2 Community Business District / Building Side Yard Setback) to allow for a twenty-seven foot (27’) side yard setback between Outlots 20 and 21 in lieu of the required thirty feet (30’).
- 5) Chapter 420-48 L.1.d.1. (Parking Lot and Circulation Requirements) to allow a zero foot (0’) setback from the interior lot line (between Outlots 20 and 21) in lieu of the required ten feet (10’) to allow for a 24’ wide internal access drive to serve both lots.
 - Reason for Variance: To allow for shared access drive to be centered on common lot line of Outlots 20 and 21



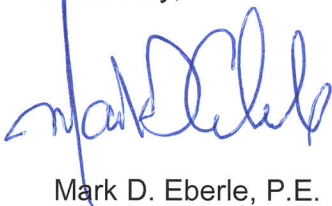
- 6) Chapter 420-48 L.1.a. (Parking Lot and Circulation Requirements) to allow a fifteen foot (15') setback from the North right-of-way line of 76th Street in lieu of the required twenty feet (20').
 - Reason for Variance: To allow for standard 80' deep rental units and to match setbacks for adjacent development on 76th Street to the West.
- 7) Chapter 420-48 K. (Parking Lot and Circulation Requirements) to allow for cross parking between the two (2) developments.
 - Reason for Variance: To allow for an internal shared access drive between the developments on Outlots 20 and 21 as well as adequate ingress, egress and internal traffic circulation lanes, sufficient onsite parking counts as well as the required emergency vehicle maneuverability.
- 8) Chapter 420-47 A.1. (Parking Lot and Circulation Requirements) to allow for spacing separation for driveways on 77th Street to be reduced from 105' to 103'. (Centerline to centerline) in the 25 MPH zone.
 - Reason for Variance: To allow for shared access drive to be centered on common lot line of Outlots 20 and 21
- 9) Chapter 420-78 (General Sign Regulations) to allow for increased building wall signage.

In recognition of the requested dimensional variances, the developer is proposing to provide the following enhancements:

- 1) An External Digital Imaging Security System (DSIS).
- 2) Internal Fire Protection System (in each building).
- 3) Enhanced Architectural Design Elements
- 4) Enhanced Site Landscaping

If you have any questions or comments, please contact me at your earliest convenience.

Sincerely,



Mark D. Eberle, P.E.

MDE/kmw
Enclosure



**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	<u>10/12</u> 20 <u>15</u>
Preliminary Determination of Completeness on:	<u>10/12</u> 20 <u>15</u>
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	_____, 20__
Published on: _____ and _____, 20__	Notices sent on: _____, 20__
Approved by <input type="checkbox"/> Plan Commission on _____	20__
<input type="checkbox"/> Zoning Administrator on _____	20__
Denied by <input type="checkbox"/> Plan Commission on _____	20__
<input type="checkbox"/> Zoning Administrator on _____	20__

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Outlot 21 Multi-Tenant Retail Development
SITE ADDRESS: SE Corner of STH 50 & 94th Ave
BRIEF PROJECT DESCRIPTION: Two (2) Building, Five (5) Unit Multi-Tenant Retail Development Consisting of General Retail, office and Restaurant Uses.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: See Attached Narrative
PROPOSED NUMBER OF PART-TIME EMPLOYEES: See Attached Narrative
SITE SIZE: _____ 87,600 _____ sq. ft. _____ 2.011 _____ acres
PROPOSED BUILDING SIZE: _____ 7,370 / 6,280 _____ sq.ft. **HEIGHT:** 24'-6"
PROPOSED ADDITION SIZE: _____ sq.ft. **HEIGHT:** _____ ft.
LEGAL DESCRIPTION: Outlot 21, Prairie Ridge Subdivision

TAX PARCEL NUMBER(S): 91-4-122-081-0210
CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: B-2 (PUD)

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: _____

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS (E-mailed to Village)

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. For specific details related to each of the required information and plans see the attachment entitled "*Plan Components and Related Standards*" in Section 420-57 of the Village Zoning Ordinance.

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: SB1 Pleasant Prairie WI, LLC.
(Please Print)
Signature:
Address: C/O Starwood CPTL GRP M Carlin
591 W Putnam, Greenwich, CT, 06830
(City) (State) (Zip)
Phone: (312) 759-5020
Fax: _____
E-mail: dgalowich@madisionchicago.com
Date June 12, 2015

APPLICANT:

Name: Mark. D. Eberle, P.E. / Nielsen Madsen Barber
(Please Print)
Signature:
Address: 1458 Horizon Blvd. STE. 200
Racine, WI, 53406
(City) (State) (Zip)
Phone: 262-634-5588
Fax: 262-634-5024
E-mail: meberle@nmbssc.net
Date: March 31, 2015

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: Oldacre McDonald
(Please Print)
Signature:
Address: 3841 Green Hills Village Drive
Nashville, TN, 37215
(City) (State) (Zip)
Phone: 423-534-5063
Fax: 615-383-6866
E-mail: aprince@oldacremcdonald.com
Date _____

USER OR OCCUPANT OF SITE:

Name: _____
(Please Print)
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

03 Pleasant Prairie- Bullseye Center- Operational plan

In connection with its Conceptual Plan Application, 03 Pleasant Prairie, LLC submits the following responses to satisfy the Operational Plan Requirements:

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Response: The Bullseye Center will be providing two free standing buildings for commercial use: Building A is a proposed two tenant building consisting of a retail store and a fast serve restaurant. Building B is a three tenant building consisting of two fast serve restaurants with a dental facility proposed in between. Please see the site plan included in Appendix A.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

Response: The proposed development and use of the site for commercial business as described in Response (a) above will serve as a center that provides options for fast serve restaurants, as well as a convenient location for retail and dental use for residents of the Pleasant Prairie community and greater Kenosha, as well as those who work in the area. The site plan depicting how the project relates to the site is included in the appendix.

(c) Gross floor area of the existing building(s) and/or proposed addition.

Response: Building A: 6,250 S.F Building B: 7,200

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

(e) Anticipated startup and total number of full- and part-time employees.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

(g) Anticipated maximum number of employees on site at any time of the day.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

Response: (d-J) See below

Use -furniture/bedding
Hours of operation – 10 am – 8 pm
Drive-thru - No
Square footage- 3,000 sf Primary Floor Space (75%)
Number of total employees by use- 2
Parking Required- 15+1=16 Spaces

Use- restaurant (fast-casual)

Hours of operation – 11 am – 10 pm
Drive-thru- no
Square footage- 2,250 sf
Number of employees on the largest work shift- 8
Parking Required- 23+8=31 Spaces

Use – restaurant (fast-casual)
Hours of operation – 11 am – 10 pm
Drive thru - no
Square footage- 2,400 sf
Number of employees on the largest work shift- 7
Parking Required- 24+7=31 Spaces
(Proposed Dental)

Use- non-food retail/service retail
Hours of operation- TBD (estimating 9 a.m.- 6 p.m.)
Drive thru - no
Square footage- 1,920sf Primary Floor Space (80%)
Number of total Dentists- 1
Number of employees on the largest work shift- 5
Parking Required- 5+5=10 Spaces

Use- restaurant (fast-casual)
Hours of operation – 11 am – 9 pm
Drive-thru- yes, however no pull aside waiting (like Culver's, Panera, or Corner Bakery). The Tenant says that they require a maximum 5 car stacking lane
Square footage- 2,400 sf
Number of employees on the largest work shift- 8
Parking Required – 24+8=32 Spaces

Minimum Parking Required – 120 Stalls
Parking Provided – 109 Stalls

D3 Pleasant Prairie, LLC has received confirmation that we will be able to use a local church (St. Anne's) for employee and construction personnel parking for up to thirty (30) spaces. See the agreement in the appendix. D3 Pleasant Prairie will also be seeking approval from the adjacent proposed shopping center to enter into a cross access agreement for parking. Finally, D3, LLC will approach the new Costco about a possible overflow parking arrangement once that establishment has been open for a couple of months and can better assess how much available parking they have to potentially share.

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Response Not available at this time.

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Response: Not available at this time.

(m) Types and quantities of goods and materials to be made, used or stored on site.

Response:

Fast Serve Restaurants: Foodstuffs and household cleaning supplies.

Mattress Retail: Mattresses, Pillows, and sheets.

Proposed Dental: Dental supplies.

(n) Types of equipment or machinery to be used on site.

Response:

Fast Serve Restaurants: Commercial kitchen equipment.

Mattress Retail: No machinery uses.

Proposed Dental: Dental supplies i.e. pumps, pneumatic tools, sanitizing machines, etc...

(o) Types and quantities of solid or liquid waste materials which will require disposal.

Response:

Fast Serve Restaurants: Waste materials common to a commercial kitchen.

Mattress Retail: No Waste.

Proposed Dental: Waste materials common to an office, as well as some biohazard waste.

(p) Method of handling, storing and disposing of solid or liquid waste materials.

Response:

Fast Serve Restaurants: Grease Interceptor.

Mattress Retail: No Waste.

Proposed Dental: Biohazard removal service.

(q) Methods of providing site and building security other than the Village Police Department.

Response: The Bullseye Center will be using a DSIS system. Please see our most recent quote in Appendix B.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Response: The Bullseye Center will use professional property management companies to maintain the property. This includes landscaping, site cleaning, ice/snow removal, and any other damage that occurs at the site or ongoing maintenance requirements.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Response: We do not anticipate the development will have adverse impacts to neighboring properties or public facilities.

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained:

Response: 03 Pleasant Prairie will apply for and obtain all necessary permits required from The Village of Pleasant Prairie, as well as, a WI DSPS "General Plumbing Permit" and WDNR NOI "Notice of Intent" Erosion Control permit.

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § 420-38 of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

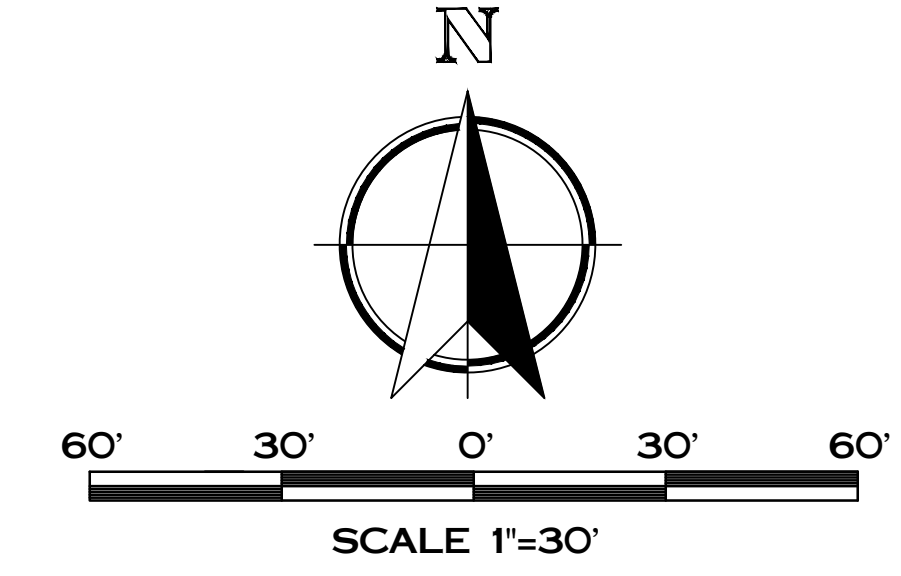
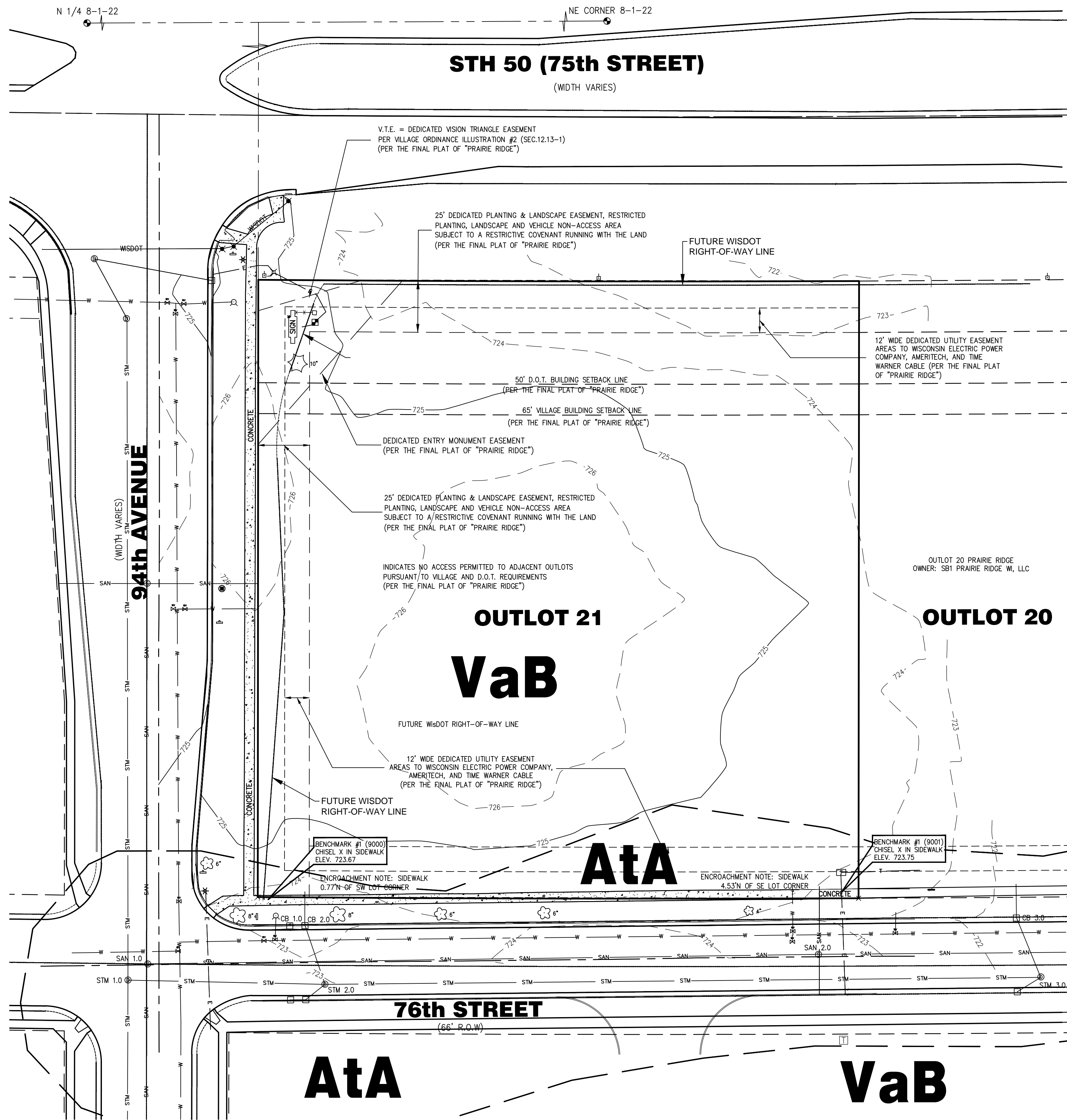
[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.



EXISTING UTILITY DATA

STM 1.0 RIM 723.11 IE. 36° E 716.46	CB 1 RIM 722.37 IE. 12° E 719.02	SAN 1.0 RIM 724.11 IE. 8° 713.96
STM 2.0 RIM 722.94 IE. 36° E&W 716.79	CB 2 RIM 722.45 IE. 15° W 718.85 IE. 15° SE 718.85 IE. 15° N 718.95	SAN 2.0 RIM 723.40 IE. 8° 711.95
STM 3.0 RIM 721.58 IE. 36° W 714.93	CB 3 RIM 721.46 IE. 15° SE 718.16 IE. 15° N 718.16	

SOILS / GROUND COVER DATA

Existing Ground Cover - Unmowed Meadow

Existing Site Soils

- Varna Silt Loam (VaB) - 1.85 Acres
- Ashkum Silty Clay Loam (AtA) - 0.16 Acres

LEGAL DESCRIPTION

OUTLOT 21 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

TAX ID No. 91-4-122-081-0210

SITE ADDRESS: 76th STREET

UTILITY NOTE

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1987.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

- LEGEND:
- | | | | | |
|---------------------|------------------------|----------------------|-------------------|-------------------------|
| ⊙ STORM MANHOLE | ⊙ SANITARY MANHOLE | ⊙ ELECTRIC PEDESTAL | ⊙ DECIDUOUS TREE | ○ FOUND IRON PIPE |
| □ CATCH BASIN | — SAN — SANITARY SEWER | ⊙ ELECTRIC METER | ⊙ CONIFEROUS TREE | ● SET 5/8" REBAR |
| — STM — STORM SEWER | ⊙ HYDRANT | ⊙ POWER POLE | ⊙ SIGN | ⊙ MISC. MANHOLE |
| ⊙ LIGHT POLE | ⊙ WATER VALVE | ⊙ TELEPHONE PEDESTAL | — X — FENCE | AtA SOIL CLASSIFICATION |
| ⊙ SIGNAL LIGHT | — W — WATER MAIN | — T — TELEPHONE LINE | ⊙ CUT CROSS | |



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd., Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbcsc.net

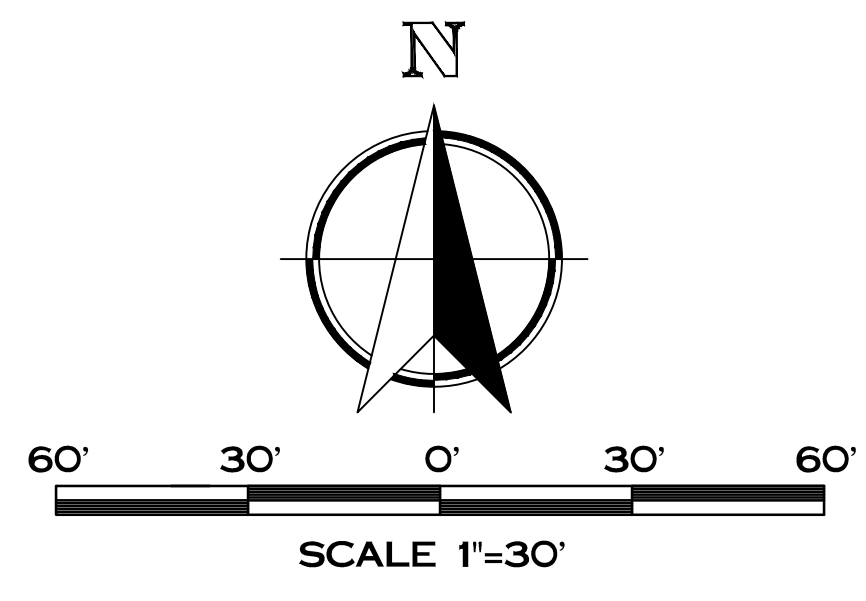
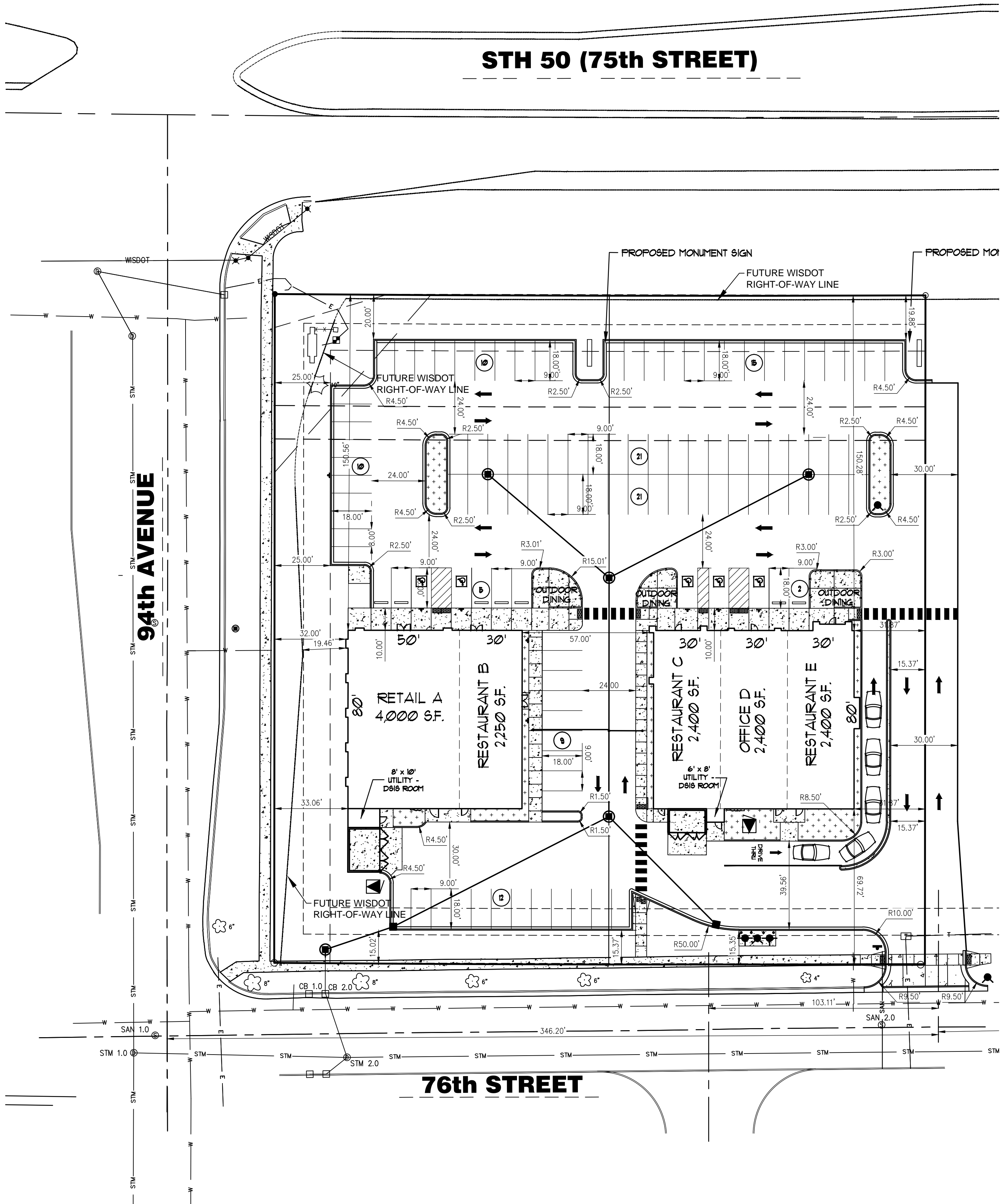
OUTLOT 21 MULTI-TENANT RETAIL EXISTING CONDITIONS TOPOGRAPHIC SURVEY FOR OLDACRE MCDONALD, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
DRAFTED: _____ JJC
DATE: 4-6-2015
CHECKED: _____ MDE
DATE: 6-12-2015

2015.0011.01
SHEET
C-2

ISSUE FOR APPROVAL - 6-12-2015



SITE DATA

PARCEL ID NUMBER:	91-4-122-081-0210
ZONING CLASSIFICATION:	B-2 (PUD)
EXISTING LAND USE:	VACANT
EXISTING FLOOD ZONE:	NOT IN A FLOOD ZONE
DEVELOPMENT TYPE:	COMMERCIAL
BUILDING USE:	MULTI-TENANT RETAIL/ RESTAURANT/ OFFICE
PARKING CALCULATIONS	
RETAIL PARKING REQUIREMENTS:	
ONE (1) SPACE FOR EVERY 200 SQUARE FEET OF PRIMARY FLOOR SPACE PLUS ONE (1) SPACE FOR EVERY TWO (2) EMPLOYEES.	RETAIL USE = 4,000 SF PRIMARY FLOOR SPACE = 65% 4,000(0.65)=2,600 SF/200 = 13 NUMBER OF EMPLOYEES = 6/2 = 3 TOTAL SPACES REQUIRES = 13+3 = 16
RESTAURANT PARKING REQUIREMENTS:	
ONE (1) SPACE FOR EVERY 100 SQUARE FEET OF FLOOR AREA PLUS ONE (1) SPACE FOR EVERY TWO (2) EMPLOYEES ON THE LARGEST WORK SHIFT.	RESTAURANT USE = 7,050 SF 7,050 SF/100 = 71 EMPLOYEES ON LARGEST SHIFT = 23 TOTAL SPACES REQUIRES = 71+2 = 94
DENTAL OFFICE PARKING REQUIREMENTS:	
FIVE (5) SPACES FOR EVERY DOCTOR PLUS ONE (1) SPACE FOR EVERY EMPLOYEE.	DENTAL OFFICE USE = 2,400 SF NUMBER OF DENTISTS = 1(5) = 5 EMPLOYEES ON LARGEST SHIFT = 5 TOTAL SPACES REQUIRES = 10
TOTAL PARKING REQUIRED = 120 TOTAL PARKING PROVIDED = 109	
PROPOSED IMPERVIOUS SURFACE	
BUILDING/ENCLOSURE	13,765 S.F.
PROPOSED CONCRETE	7,599 S.F.
PROPOSED ASPHALT	45,371 S.F.
TOTAL IMPERVIOUS SURFACE AREA	66,735 S.F. = 1.53 AC (76.2%)
TOTAL GREEN SPACE AREA	20,865 S.F. = 0.48 AC (23.8%)
REQUIRED GREEN SPACE AREA	17,520 S.F. = 0.40 AC (20.0%)
TOTAL PARCEL AREA	87,600 S.F. = 2.01 AC
TOTAL DISTURBED AREA	87,600 S.F. = 2.01 AC
LANDOWNER:	SB1 PLEASANT PRAIRIE, LLC 25110 75th STREET SALEM, WI 53168 262-843-2317
APPLICANT/DEVELOPER:	OLDACRE McDONALD 5819 BRISTLECOONE CT. ST LOUIS, MO. 63129 314-378-8971
SURVEYOR/CIVIL ENGINEER:	NIELSEN, MADSEN & BARBER, S.C. 1458 HORIZON BOULEVARD SUITE 200 RACINE, WI 53406 262-634-5588
*AN ESTIMATED 500 CY OF MATERIAL WILL NEED TO BE EXPORTED FROM THE SITE	

SITE PLAN LEGEND

- INTERNAL SITE LANDSCAPING
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- DETECTABLE WARNING FIELD
- SIGNAGE
- LIGHT POLE
- PIPE BOLLARD
- PARKING COUNT
- DRIVE AISLE CENTERLINE
- 18" CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPERTY LINE
- FIRE HYDRANT
- REMOTE FIRE DEPARTMENT CONNECTOR (FDC)
- ELECTRICAL TRANSFORMER



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbasc.net

**OUTLOT 21 MULTI-TENANT RETAIL
SITE PLAN
FOR
OLDACRE McDONALD, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN**

NO.	REVISION	BY	DATE

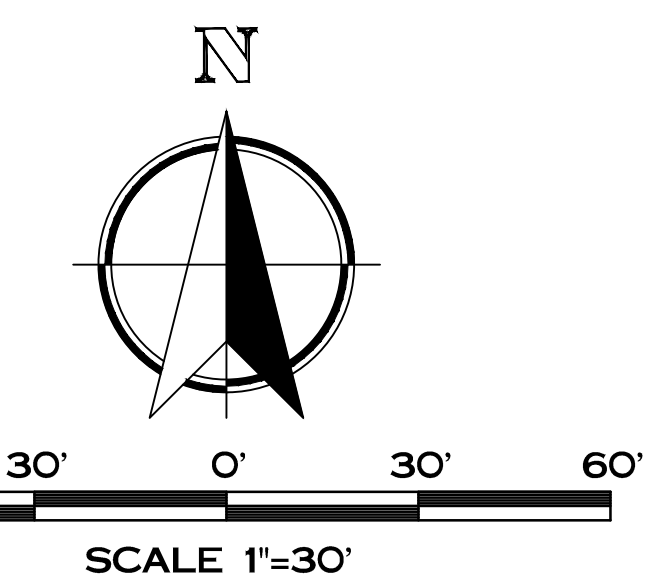
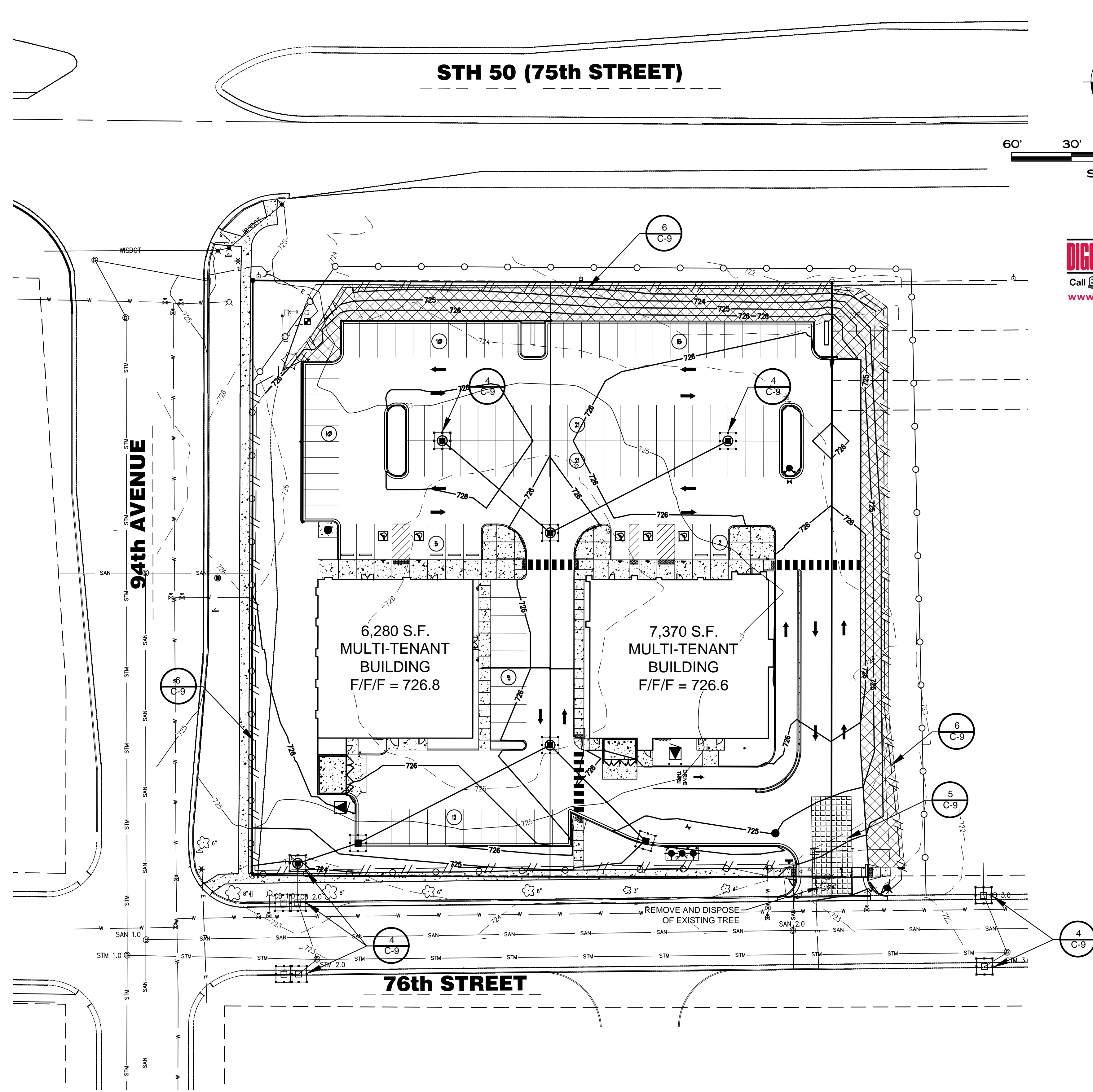
PROJ. MGR: MDE
DRAFTED: JJC
DATE: 4-6-2015
CHECKED: MDE
DATE: 6-12-2015

2015.0011.01
SHEET
C-3



ISSUE FOR APPROVAL - 6-12-2015

Friday, June 12, 2015 10:27:46 AM



DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com

EROSION CONTROL / GRADING LEGEND

- GRAVEL TRACKING PAD
- EROSION MATTING CLASS 1, TYPE B
- 692 - EXISTING CONTOURS
- 702 - PROPOSED CONTOURS
- - - SILT FENCE
- EROSION BALES
- STORM INLET PROTECTION
- LIMITS OF CONSTRUCTION
- TEMPORARY CONSTRUCTION FENCING

REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2015 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stndspec/index.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

LAND DIVISION ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, CHAPTER 395, VILLAGE CODE OF ORDINANCES.

CHAPTER 405 OF THE VILLAGE OF PLEASANT PRAIRIE MUNICIPAL CODE "PUBLIC IMPROVEMENT PROJECTS", DATED DECEMBER 20, 2004, INCLUDED HEREIN AND REFERRED TO AS THE "VILLAGE SPECIFICATIONS."

ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".

* WHENEVER THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

* WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "VILLAGE SPECIFICATIONS".

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

EROSION CONTROL

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), THE VILLAGE OF PLEASANT PRAIRIE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE WDNR, OWNER, ENGINEER OR MUNICIPALITY TO MEET FIELD CONDITIONS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN SPS 360.21 OF THE WISCONSIN ADMINISTRATIVE CODE AND MAINTAINED PER SPS 360.22:

- THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:
 - AT LEAST WEEKLY.
 - WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD.
- THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:
 - THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
 - A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.

CONSTRUCTION FENCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. CONSTRUCTION FENCING SHALL BE INSTALLED 3 TO 5 FEET UPSTREAM OF ANY SILT FENCE TO ALLOW FOR SEDIMENT REMOVAL, GENERAL MAINTENANCE AND REPLACEMENT OF THE EROSION CONTROL DEVICE. MATERIAL FOR CONSTRUCTION FENCE SHALL BE HIGH DENSITY POLYETHYLENE MESH SUPPLIED IN EITHER 50-FOOT OR 100-FOOT ROLLS. THE FENCING SHALL BE A MINIMUM OF 4 FEET HIGH AND SHALL BE WEATHER-, CHEMICAL- AND ULTRAVIOLET-RESISTANT TO INCREASE THE PRODUCT LIFE. FENCING SHALL BE SUPPORTED AT MAXIMUM TEN-FOOT (10') INTERVALS BY METAL T-POSTS OR OTHER APPROVED METHODS SUFFICIENT TO KEEP THE FENCE UPRIGHT AND IN PLACE. WOODEN STAKES AND REBAR POSTS ARE NOT CONSIDERED AS AN APPROVED METHOD OF SUPPORT. DEFAULT COLOR OF FENCING SHALL BE ORANGE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. CONSTRUCTION FENCE MATERIAL SHALL BE SECURED TO THE METAL T-POSTS BY PLASTIC ZIP OR WIRE TIES AS NEEDED TO KEEP THE FENCE UPRIGHT AND IN PLACE. FENCE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AT PROJECT COMPLETION AND SHALL BE REMOVED FROM THE SITE.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

INSTALL EROSION MAT PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1052.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE TYPE B OR TYPE C INLET PROTECTION INSTALLED TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED, IF NECESSARY, EVERY 14 DAYS AND AFTER EACH RAINFALL.

ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGE OFF-SITE. PUMPING OPERATIONS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR BY OTHER WDNR APPROVED METHODS. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

A CONSTRUCTION TRACKING PAD HAS BEEN INSTALLED AT THE SITE ENTRANCE TO PREVENT SOIL FROM BEING TRACKED ONTO ADJACENT PAVEMENTS AND PUBLIC ROADS. MAINTENANCE OF THE TRACKING PAD SHALL BE PERFORMED ACCORDING TO WDNR TECHNICAL STANDARD 1057. ALL TRACKED SOIL FROM THE CONSTRUCTION SITE SHALL BE COLLECTED FROM PAVED STREETS AT THE END OF EACH WORKING DAY. PERIODIC STREET SWEEPING SHALL BE CONDUCTED BY THE CONTRACTOR TO KEEP THE PUBLIC AND/OR PRIVATE ROADWAYS FREE OF DUST AND DIRT.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) ACCORDING TO WDNR TECHNICAL STANDARD 1068 DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS).

PUBLIC CURB AND GUTTER AND SIDEWALKS

ALL CURB & GUTTER AND SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.

Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Fax: (262)634-5024
 Website www.nmbcsc.net

OUTLOT 21 MULTI-TENANT RETAIL SITE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR OLDACRE MCDONALD, LLC
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
 DRAFTED: _____ JJC
 DATE: _____ 4-6-2015
 CHECKED: _____ MDE
 DATE: _____ 6-12-2015

2015.0011.01
 SHEET
C-4

ISSUE FOR APPROVAL - 6-12-2015



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website: www.nmbasc.net

**OUTLOT 21 MULTI-TENANT RETAIL
SITE UTILITY
PLAN
FOR
OLDACRE MCDONALD, LLC**
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	DATE

PROJ. MGR: MDE
DRAFTED: JUC
DATE: 4-6-2015
CHECKED: MDE
DATE: 6-12-2015

2015.0011.01
SHEET
C-6

ISSUE FOR APPROVAL - 6-12-2015

GENERAL NOTES

ALL APPLICATIONS AND CONNECTION FEES FOR SANITARY SEWER AND WATER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE EXISTING SYSTEMS.

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "VILLAGE SPECIFICATIONS".

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

MATERIAL FOR SANITARY SEWERS AND WATER MAINS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES (SPS) AND THE "VILLAGE SPECIFICATIONS".

ALL SANITARY SEWER, WATER MAIN AND FIRE PROTECTION LATERALS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND SIX AND ONE HALF FEET (6-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

THE CONTRACTOR SHALL PROVIDE 7 DAYS NOTICE TO THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT BEFORE COMMENCING CONSTRUCTION ON ANY SEWER OR WATER MAIN IMPROVEMENTS.

THE CONTRACTOR SHALL CONTACT THE OWNER 24 HOURS PRIOR TO PROPOSED WATER MAIN SHUTDOWNS OR ANY WORK THAT MAY INTERFERE WITH EXISTING WATER SERVICE. ALL EXISTING VALVES, HYDRANTS, AND OTHER WATER INFRASTRUCTURE SHALL BE OPERATED ONLY BY THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE SANITARY SEWERS AND LATERALS PER SPS 382.30(1)(h). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE PROPOSED STRUCTURES. FOR THE SANITARY SEWER LATERALS, THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "SEWER" ON THE COVER.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS PER SPS 382.40(8)(k). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "WATER" OR "FDC" ON THE COVER.

SANITARY SEWER AND WATER MAIN SPECIFICATIONS

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE SIX-INCH (6") OR FOUR-INCH (4") PVC CLASS SDR-35 WITH INTEGRAL BELL TYPE ELASTOMERIC JOINTS CONFORMING TO THE REQUIREMENTS OF ASTM D3034, ASTM D3212 AND F-789/P546 WITH RUBBER GASKETS. SANITARY LATERALS SHALL BE PROVIDED WITH A CLEANOUT AT THE BUILDING PER SPS 382.35. LATERAL CLEAN-OUT RISERS SHALL BE FOUR-INCH (4") DIAMETER WITH SIX-INCH (6") DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL. THE CLEANOUT RISERS SHALL TERMINATE FOUR INCHES (4") BELOW FINISHED (SOD) GRADE WITH A SCREW ON CAP. THE FROST SLEEVE SHALL BE BROUGHT UP TO FINISHED (SOD) GRADE AND COVERED WITH A SCREW ON CAP IF WITHIN A LANDSCAPED AREA OR A NEENAH R-3487 FRAME WITH A SOLID LID IF WITHIN A PAVED AREA.

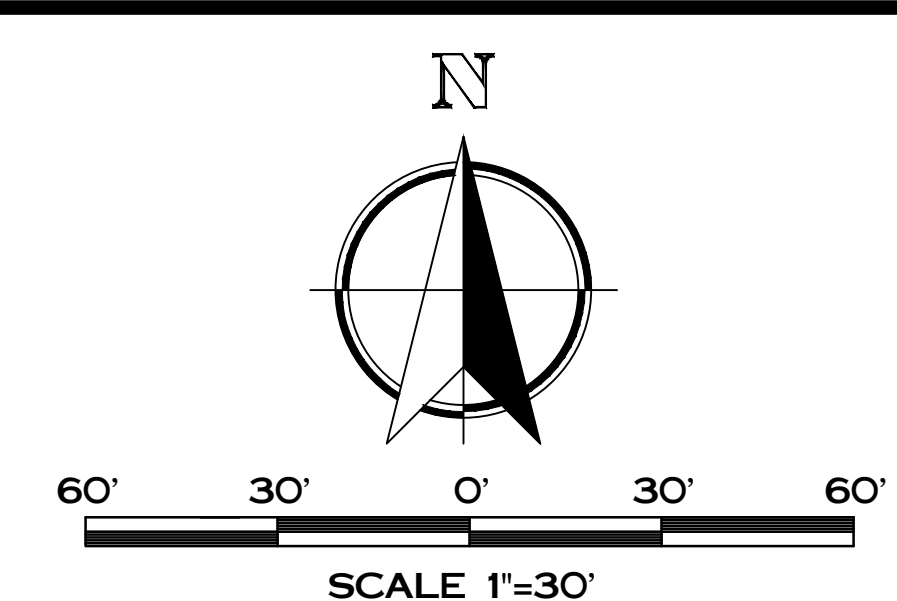
WATER MAIN AND LATERAL PIPE MATERIAL SHALL BE SIX INCH (6") PVC PIPE CLASS 150, DR 18 (AS SHOWN) MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, IN ACCORDANCE WITH THE "VILLAGE SPECIFICATIONS". HYDRANT LEADS AND FIRE DEPARTMENT CONNECTOR LATERALS SHALL BE SIX INCH (6") POLY-ENCASED DUCTILE IRON PIPE CLASS 53 (AS SHOWN) MEETING THE REQUIREMENTS OF AWWA STANDARD C-151 / ANSI 21.51 AND THE "VILLAGE SPECIFICATIONS".

RESILIENT WEDGE SEATED GATE VALVES CONFORMING TO AWWA C-509 SHALL BE USED FOR FOUR-INCH (4") TO EIGHT-INCH (8") APPLICATIONS. GATE VALVES SHALL BE WATEROUS "SERIES 500" AS MANUFACTURED BY AMERICAN FLOW CONTROL, CLOW F-6100 OR MUELLER A-2370-22 WITH A MINIMUM PRESSURE RATING OF 200 PSI. ALL VALVES SHALL BE MADE WITH STAINLESS STEEL NUTS AND BOLTS AND SHALL CLOSE CLOCKWISE WITH NON-RISING STEMS (GATE VALVE ONLY) AND A TWO-INCH (2") SQUARE TAPERED OPERATING NUT.

VALVE BOXES SHALL BE THREE-PIECE CAST-IRON SHAFT SCREW TYPE WITH A CAST IRON VALVE BOX COVER CLEARLY MARKED "WATER" AND SHALL BE NORTH AMERICAN, SIGMA OR STAR MADE ONLY PER THE "VILLAGE SPECIFICATIONS". VALVE BOX ADAPTERS SHALL BE MANUFACTURED BY ADAPTOR, INC., OR APPROVED EQUAL.

HYDRANTS SHALL CONFORM TO AWWA C-502 FOR DRY BARREL FIRE HYDRANTS AND SHALL BE RED IN COLOR WITH SILVER NOZZLE CAPS AND OPERATING NUT. HYDRANTS SHALL BE MUELLER CENTURION A-423 WITH FACTORY INSTALLED 5" STORZ CONNECTION.

THE FIRE DEPARTMENT CONNECTION (FDC) SHALL CONFORM TO THE "VILLAGE SPECIFICATIONS". THE FDC SHALL HAVE ONE (1) FIVE INCH (5") STORZ CONNECTION WHICH SHALL BE LABELED "AUTO SPRK". THE BOTTOM OF THE STORZ CONNECTION SHALL BE TWENTY FOUR INCHES (24") ABOVE FINISHED GRADE. THE FDC SHALL BE LOCATED A MAXIMUM OF FIVE FEET (5') FROM THE ADJACENT HYDRANT AND A MAXIMUM OF FIVE FEET (5') FROM THE PAVEMENT. THE FDC SHALL BE INSTALLED WITH A CHECK VALVE WITH BALL DRIP. THIS CHECK VALVE SHALL BE CONTAINED WITHIN A VAULT CONSISTING OF A MINIMUM FORTY-TWO INCH (42") DIAMETER MANHOLE. THE VAULT SHALL BE SET ON A MINIMUM OF FOUR INCHES (4") OF #2 STONE AND SHALL BE INSTALLED WITH A NEENAH R-1755-F2 FROST/WATER-TIGHT FRAME AND SOLID LID.



REFERENCES

- ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:
- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS "STANDARD SPECIFICATIONS."
- STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2015 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stdspec/index.htm>
- LAND DIVISION ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, CHAPTER 18, VILLAGE CODE OF ORDINANCES, JUNE 1998, REVISED EDITION MAY 21, 2001.
- ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".
- * WHENEVER THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- * WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- ALL SANITARY SEWER AND WATERMAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".
- * WHENEVER THE "STANDARD SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- * WHENEVER THE "STANDARD SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

SANITARY LATERAL DATA

S-1: 47' - 6" PVC @ 2.08%	CLEANOUT 2.0 I.E. 4" (N) 719.62
S-2: 14' - 6" PVC @ 2.08%	CLEANOUT 3.0 I.E. 4" (S) 717.43
S-3: 21' - 6" PVC @ 2.08%	CLEANOUT 4.0 I.E. 6" (S) 719.22
S-4: 28' - 4" PVC @ 2.08%	CLEANOUT 5.0 I.E. 4" (S) 720.10
S-5: 26' - 4" PVC @ 2.08%	GREASE INTERCEPTOR 1.0 RIM (W) 726.30 RIM (E) 726.30 4" (N) 718.91 4" (E) 719.08
S-6: 20' - 6" PVC @ 2.08%	GREASE INTERCEPTOR 2.0 RIM (N) 726.50 RIM (S) 726.45 4" (N) 717.23 4" (S) 717.03
S-7: 22' - 6" PVC @ 2.08%	GREASE INTERCEPTOR 3.0 RIM (W) 725.75 RIM (E) 725.75 4" (W) 719.25 4" (E) 719.08
S-8: 18' - 4" PVC @ 10.00%	CLEANOUT 1.0 I.E. 6" (N) 718.69
S-9: 2' - 4" PVC @ 10.00%	
S-10: 20' - 6" PVC @ 18.90%	
S-11: 14' - 6" PVC @ 2.08%	
S-12: 7' - 4" PVC @ 2.08%	
S-13: 41' - 4" PVC @ 2.08%	

PUBLIC UTILITY NOTES

TELEPHONE SERVICE INSTALLATION TO BE COORDINATED WITH THE ELECTRICAL SERVICE.

ELECTRICAL SERVICE TO BE COORDINATED WITH WE ENERGIES. EXACT LOCATION OF THE SERVICE ENTRANCE / METER TO BE COORDINATED WITH WE ENERGIES, THE MECHANICAL DESIGNER AND THE ARCHITECT.

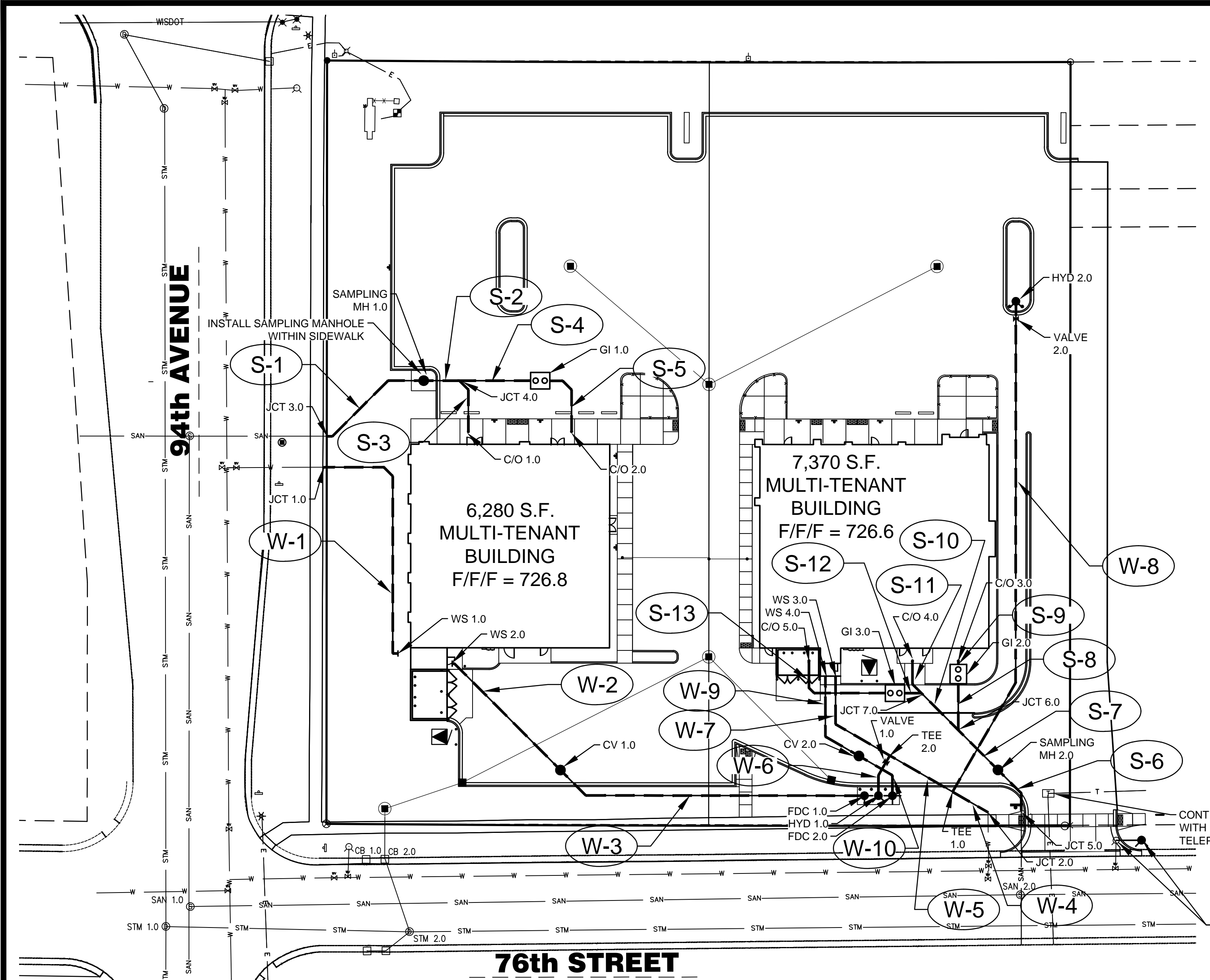
SIX (6) INCH CONCRETE FILLED STEEL PIPE BOLLARDS SHALL BE INSTALLED TWO (2) FEET OUTWARD OF THE ELECTRICAL TRANSFORMER PAD AT FOUR (4) FOOT MAXIMUM SPACING MAKING SURE THAT THE BOLLARDS DO NOT INTERFERE WITH THE TRANSFORMER DOOR.

UTILITY COORDINATION

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, AND PHONE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

FIRE PROTECTION NOTES

SIZING AND PERMITTING FOR THE FIRE PROTECTION MAIN SHALL BE COMPLETED BY A LICENSED WISCONSIN FIRE PROTECTION DESIGNER. THE CONTRACTOR SHALL CONFIRM THAT THE 6" WATER SERVICE PROPOSED MEETS THE REQUIRED FIRE PROTECTION DEMAND.



EXISTING UTILITY DATA

STM 1.0 RIM 723.11 I.E. 36° E 716.46	CB 1 RIM 722.37 I.E. 12° E 719.02	SAN 1.0 RIM 724.11 I.E. 8° 713.96
STM 2.0 RIM 722.94 I.E. 36° E&W 716.79	CB 2 RIM 722.45 I.E. 15° W 718.85 I.E. 15° SE 718.85 I.E. 15° N 718.95	SAN 2.0 RIM 723.40 I.E. 8° 711.95
STM 3.0 RIM 721.58 I.E. 36° W 714.93	CB 3 RIM 721.46 I.E. 15° SE 718.16 I.E. 15° N 718.16	

WATERMAIN DESIGN

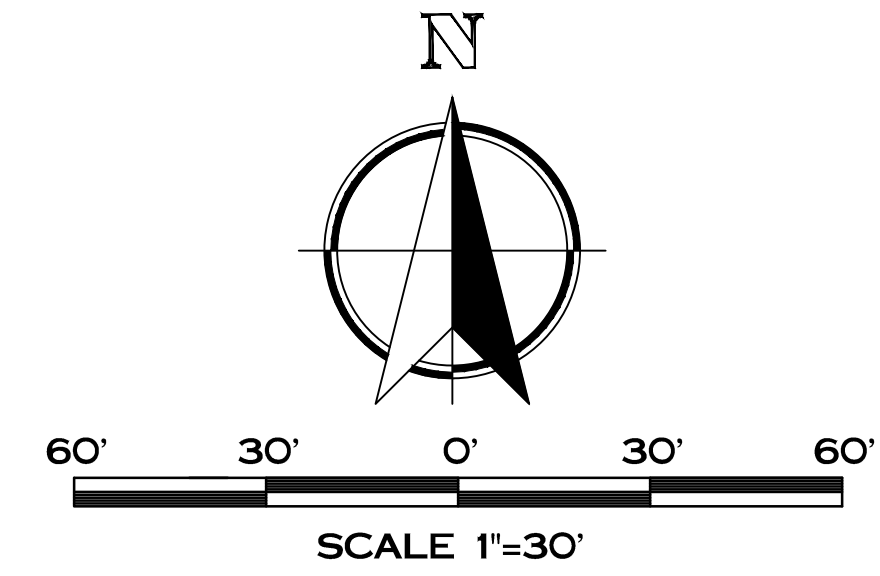
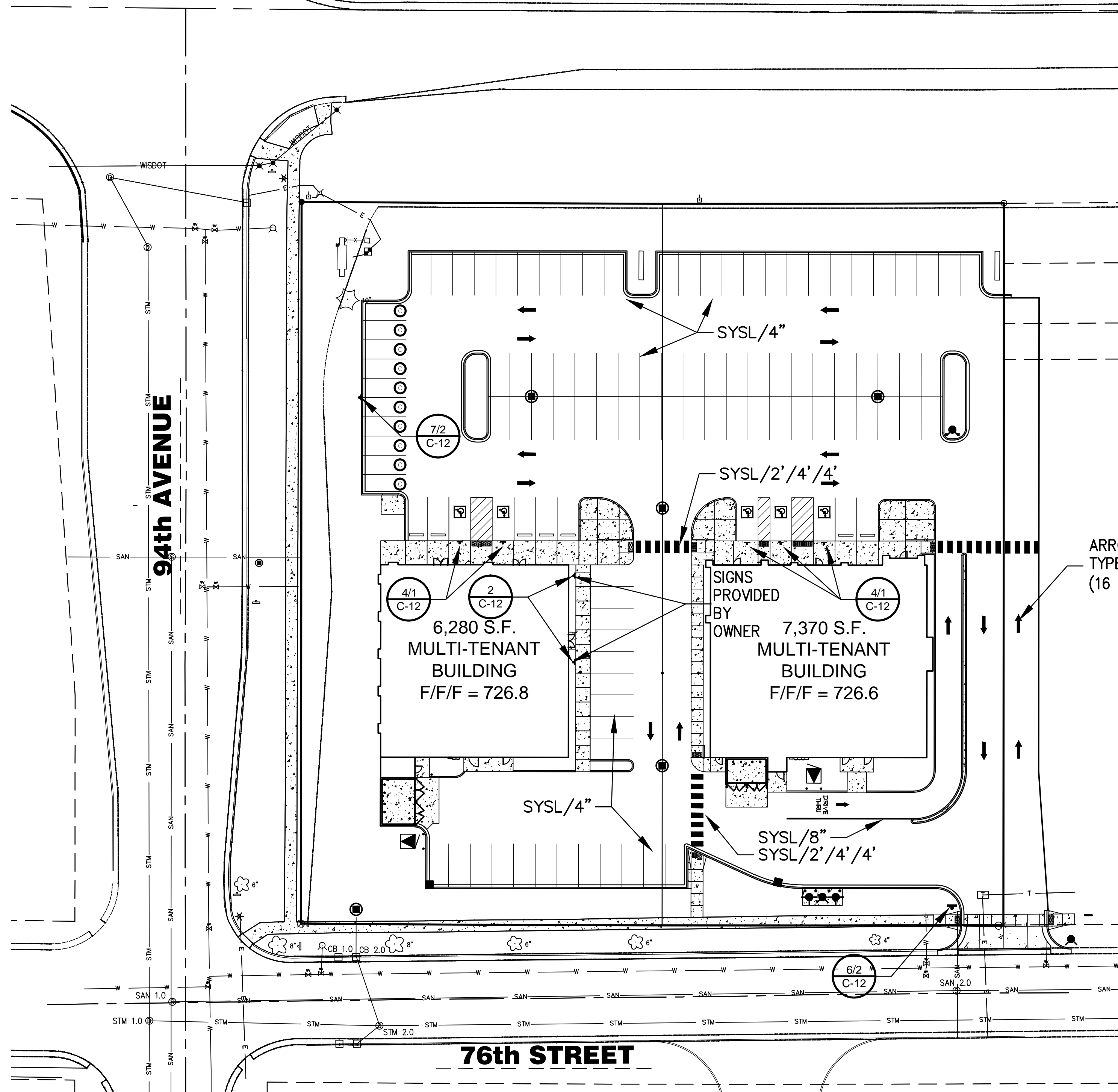
W-1: 100' - 6" WM @ 0.50%	W-5: 28' - 6" WM @ 0.50%	W-9: 39' - 4" WM @ -0.50%
W-2: 60' - 4" WM @ -1.00%	W-6: 17' - 6" WM @ 0.50%	W-10: 23' - 4" WM @ 3.00%
W-3: 124' - 4" WM @ 1.00%	W-7: 44' - 6" WM @ 3.25%	
W-4: 16' - 6" WM @ 0.50%	W-8: 199' - 6" WM @ 1.00%	

JUNCTION 1.0 I.E. 6" 717.8±	VALVE 2.0 I.E. 6" 718.31	CHECK VALVE 1.0 RIM 725.50 I.E. 4" 717.70	HYDRANT 1.0 FLANGE ELEVATION - 725.15 CENTER OF LARGE COUPLING - 726.45 I.E. 6" 716.60	HYDRANT 2.0 FLANGE ELEVATION - 726.70 CENTER OF LARGE COUPLING - 728.00 I.E. 6" 718.37
JUNCTION 2.0 I.E. 6" 716.3±	WATER STUB 1.0 I.E. 6" 718.30	CHECK VALVE 2.0 RIM 724.90 I.E. 4" 717.76	FDC 1.0 FLANGE ELEVATION - 725.15 CENTER OF LARGE COUPLING - 727.15 I.E. 4" 718.94	FDC 2.0 FLANGE ELEVATION - 725.15 CENTER OF LARGE COUPLING - 727.15 I.E. 4" 718.45
TEE 1.0 (6" X 6") I.E. 6" 716.38	WATER STUB 2.0 I.E. 6" 718.30			
TEE 2.0 (6" X 6") I.E. 6" 716.52	WATER STUB 3.0 I.E. 6" 717.95			
VALVE 1.0 I.E. 6" 716.54	WATER STUB 4.0 I.E. 6" 717.95			

Friday, June 12, 2015 10:27:56 AM

S 89°46'36" W 743.89 N 89°46'36" E 1896.88

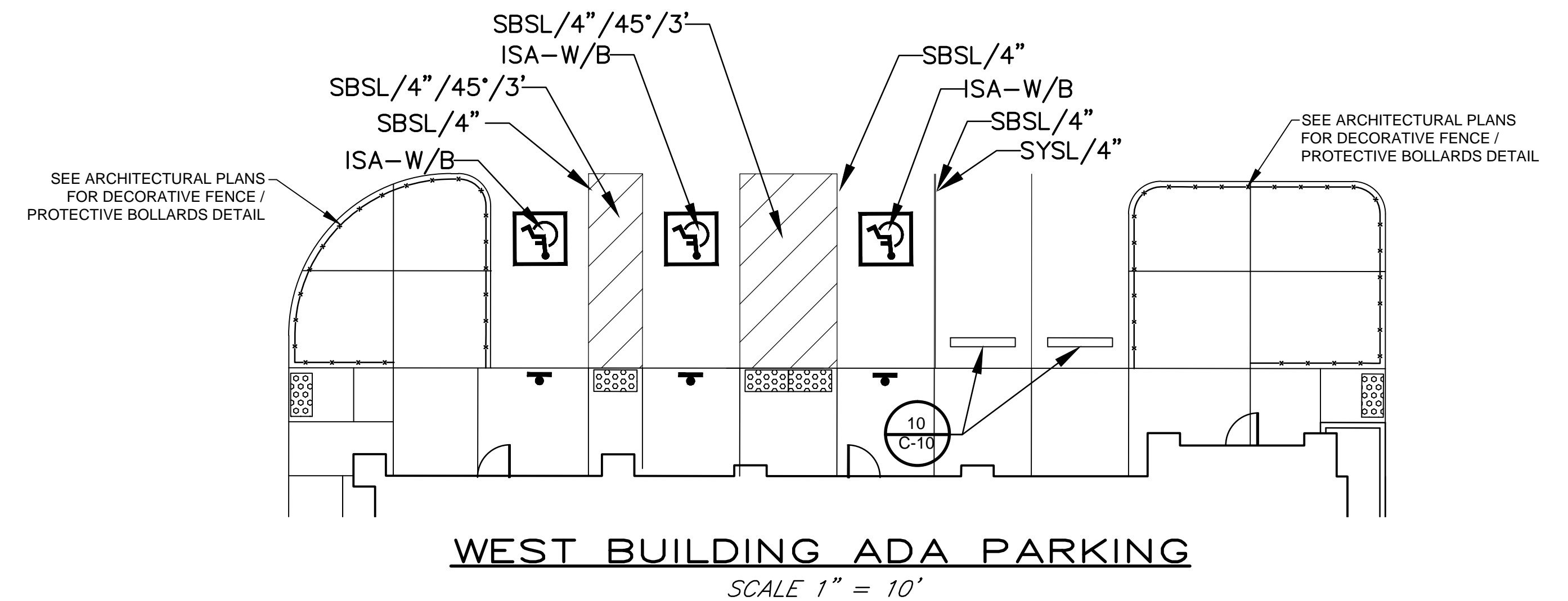
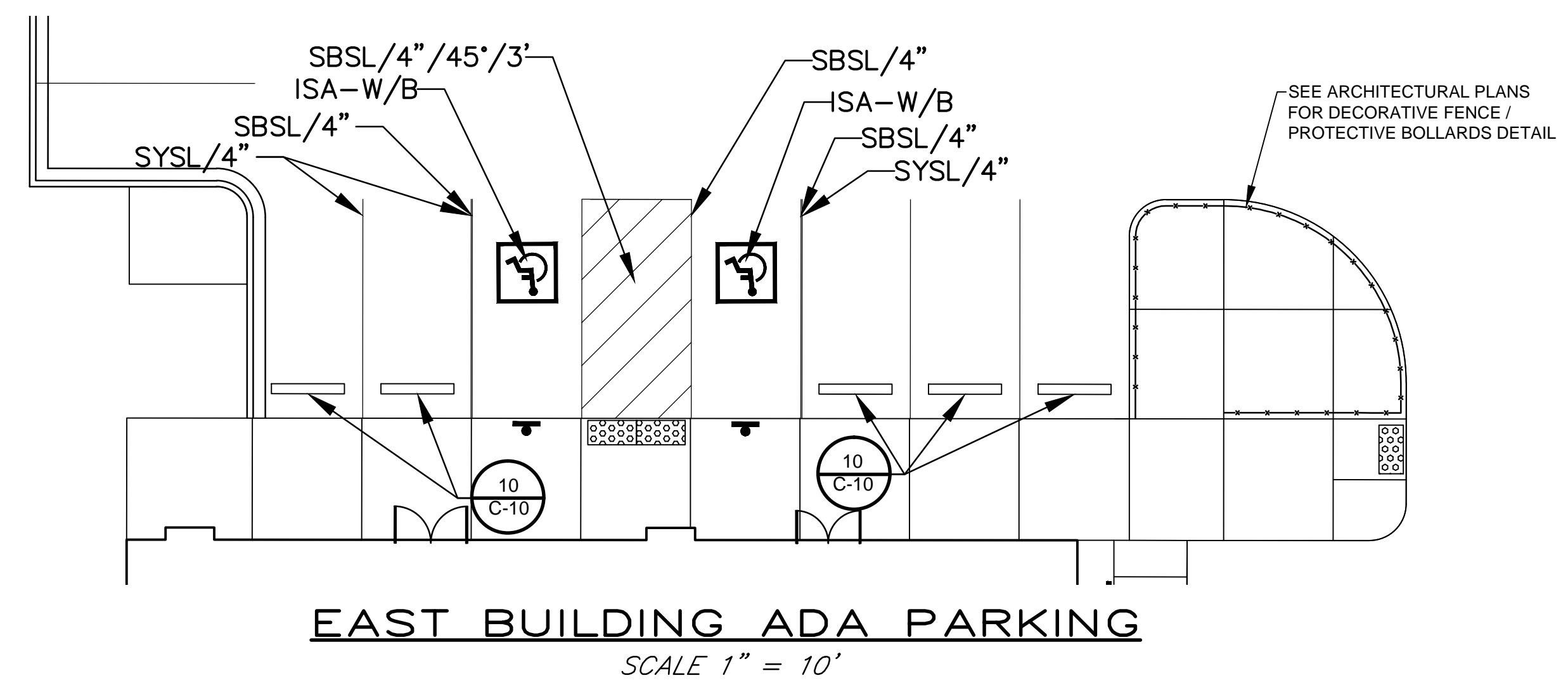
STH 50 (75th STREET)



PAVEMENT STRIPING LEGEND

- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
- SYSL/8" - SINGLE YELLOW SOLID LINE / 8" WIDE EACH
- SBSL/4"/45'/3' - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45', 3' O.C.
- SYSL/2'/4'/4' - SINGLE YELLOW SOLID LINE / 2' WIDE EACH, 4' LONG, 4' O.C.
- ARROW, TYPE - SOLID YELLOW ARROWS PER WISDOT S.D.D. 15C7-12C

- COMPACT / YELLOW TRAFFIC PAINT



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbcsc.net

OUTLOT 21, PRAIRIE RIDGE PAVEMENT MARKING & SIGNAGE PLAN

FOR
OLDACRE McDONALD, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	BY	DATE

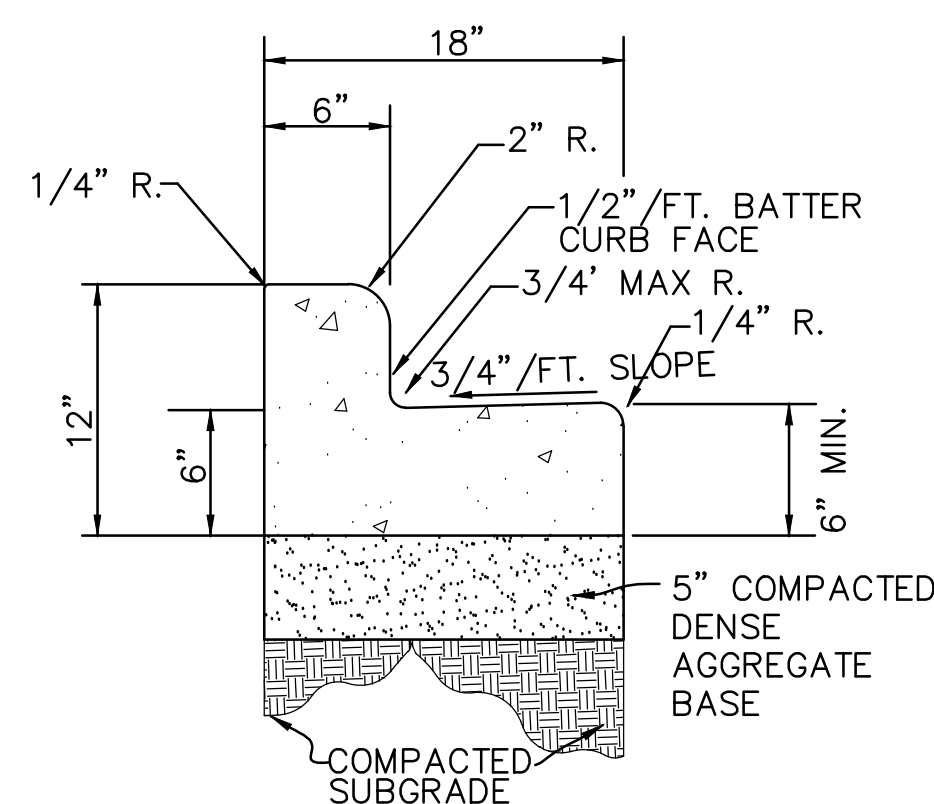
PROJ. MGR:	MDE
DRAFTED:	JJC
DATE:	4-6-2015
CHECKED:	MDE
DATE:	6-12-2015
2015.0011.01	
SHEET	
C-8	

ISSUE FOR APPROVAL - 6-12-2015

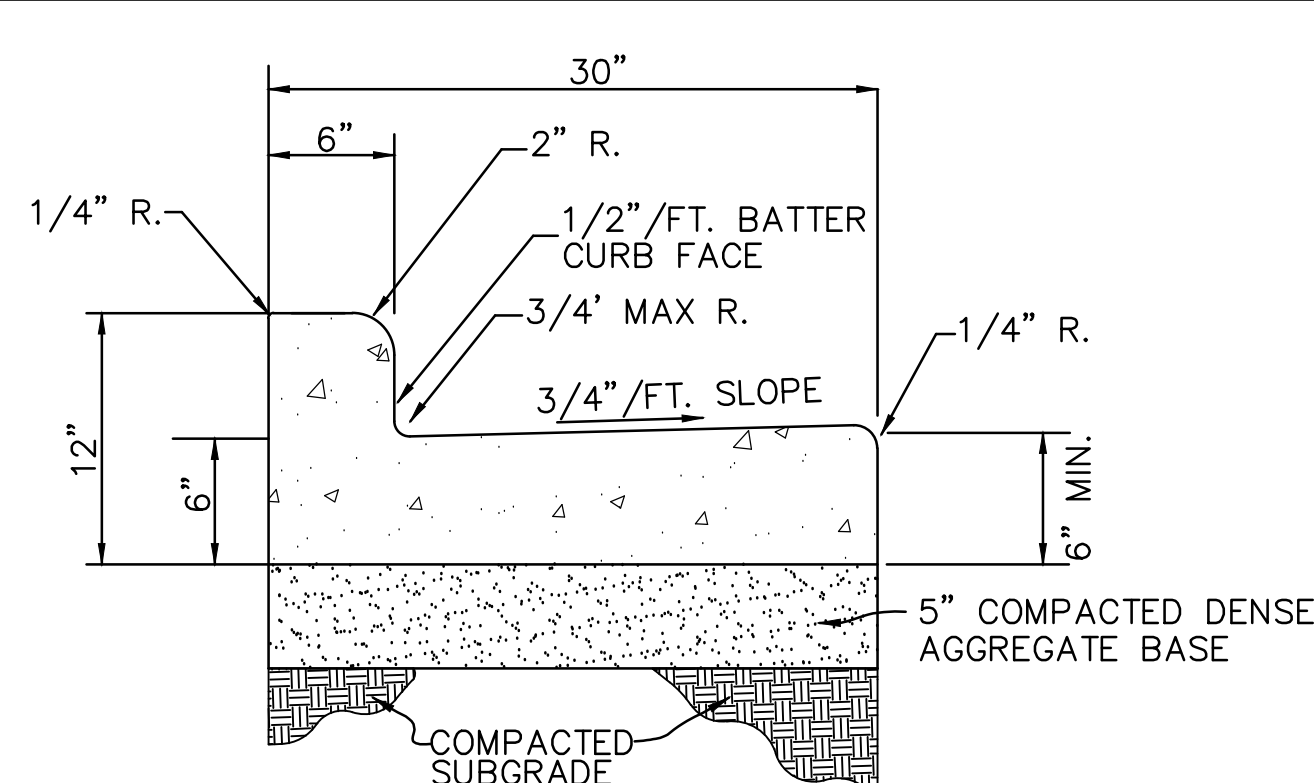


NO.	REVISION	BY	DATE

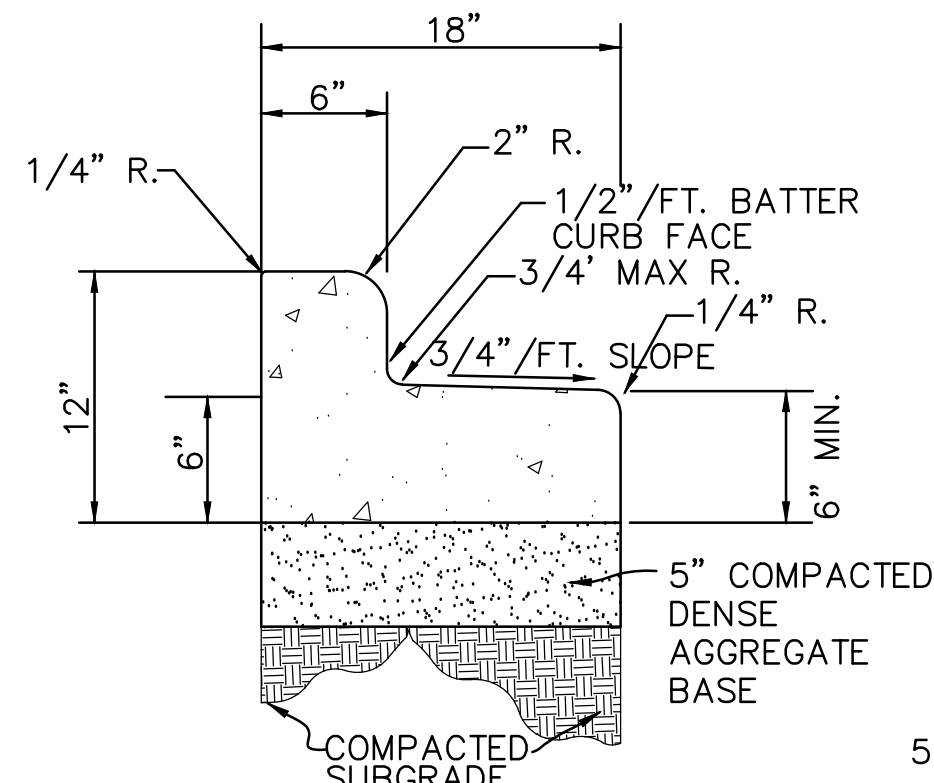
PROJ. MGR: _____ MDE
DRAFTED: _____ JJC
DATE: 4-6-2015
CHECKED: _____ MDE
DATE: 6-12-2015
2015.0011.01
SHEET
C-10



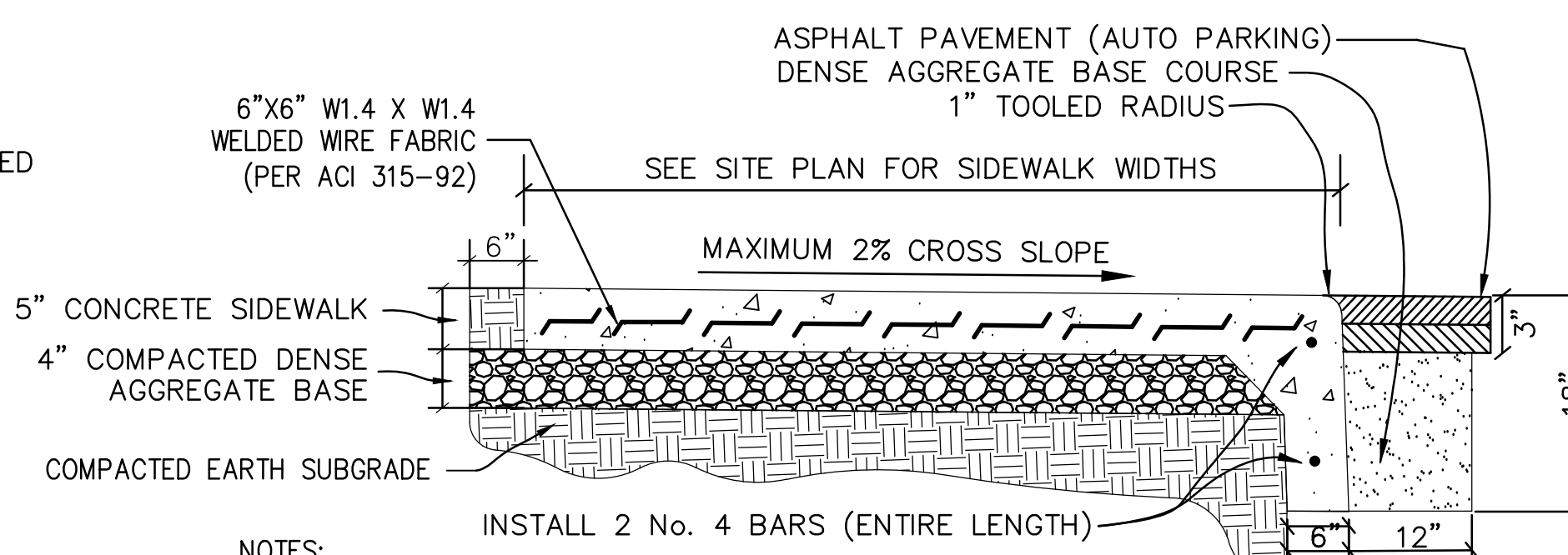
1 18" VERTICAL FACE CURB AND GUTTER
NOT TO SCALE



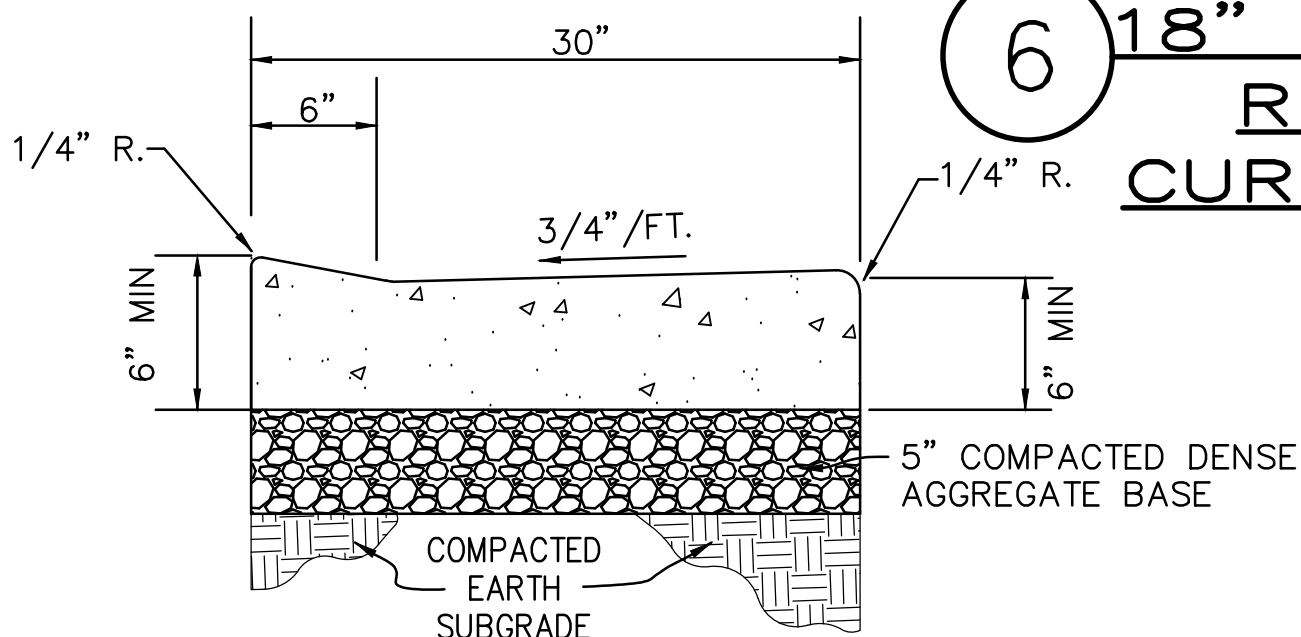
2 30" VERTICAL FACE CURB AND GUTTER
NOT TO SCALE



3 ONSITE "PRIVATE" CONCRETE SIDEWALK (TYPICAL SECTION)
NOT TO SCALE



7 CONCRETE SIDEWALK & FLUSH PAVEMENT (TYPICAL SECTION)
NOT TO SCALE

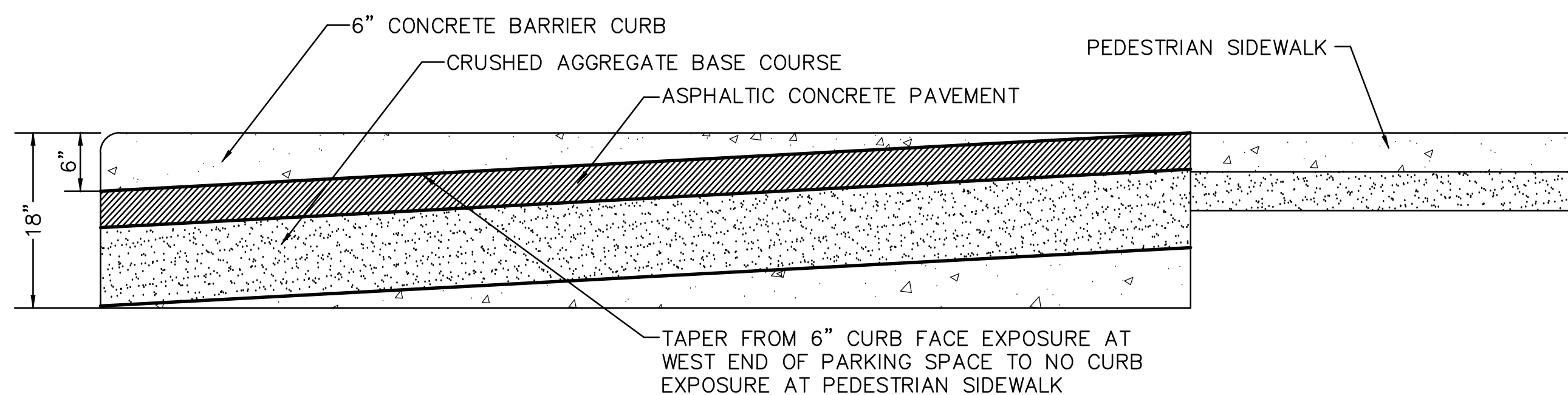


6 18" VERTICAL FACE REVERSE PAN CURB AND GUTTER
NOT TO SCALE

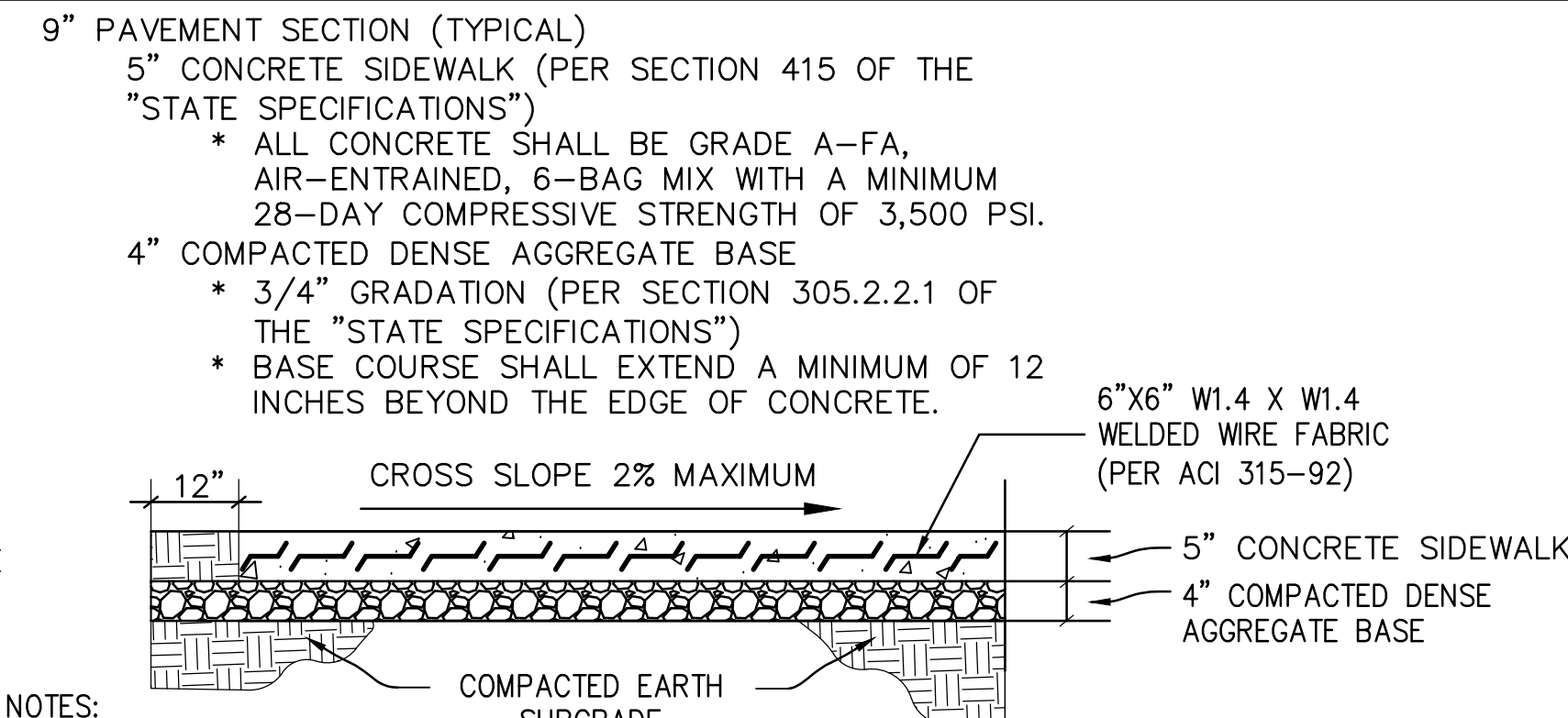
5 30" TYPE "D" DEPRESSED HEAD CURB AND GUTTER DETAIL
NOT TO SCALE

NOTES FOR ALL CURB AND GUTTER:

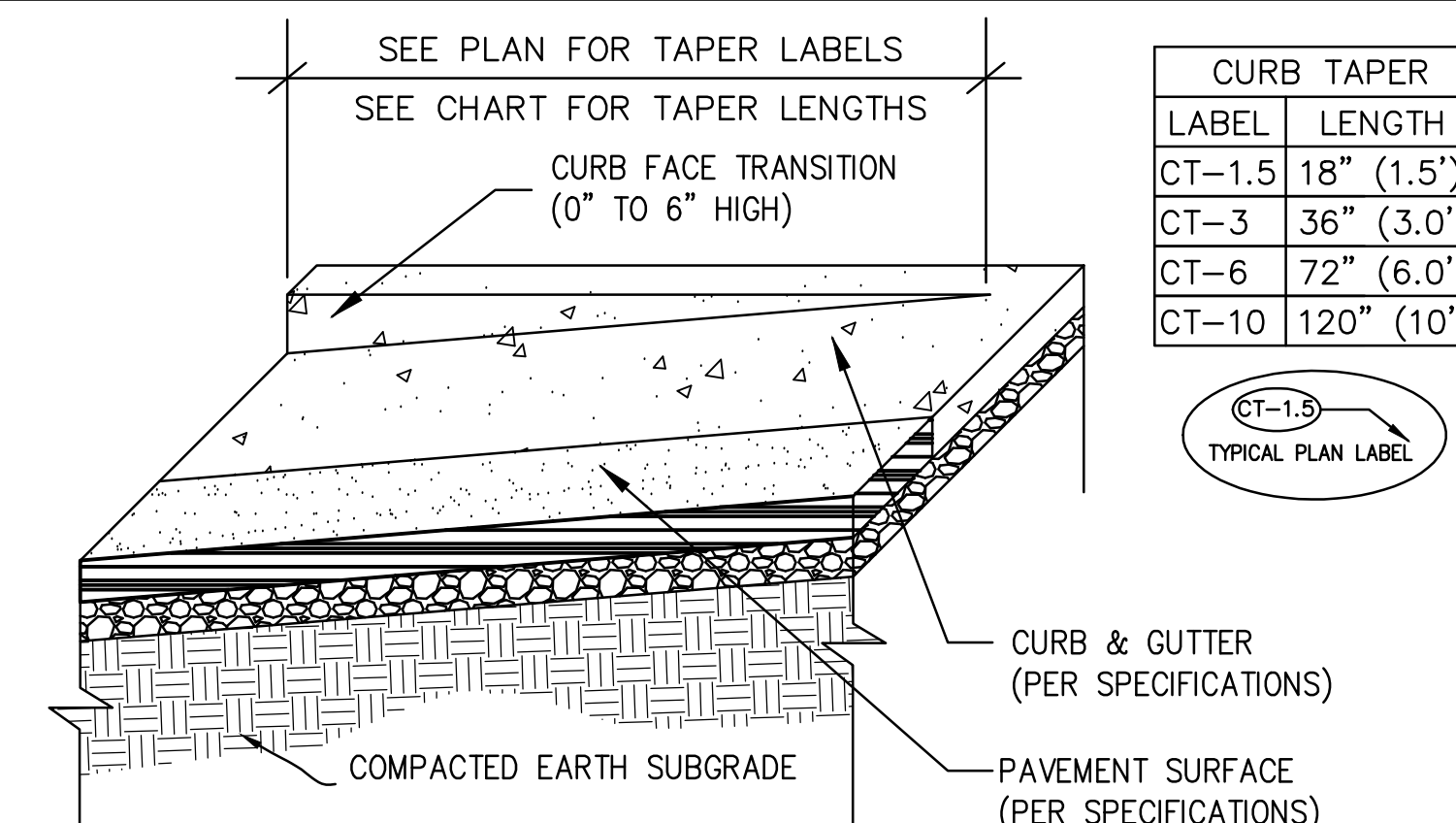
- LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET. JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES 200 FEET IN DIAMETER OR LESS, AT ANGLE POINTS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER AND SHALL BE 1/2 INCH THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE.
- INSTALL TWO (2) NO. 4, 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO EXISTING CURB AND GUTTER AT ALL CONNECTION POINTS.



9 CURB TAPER DETAIL
NOT TO SCALE

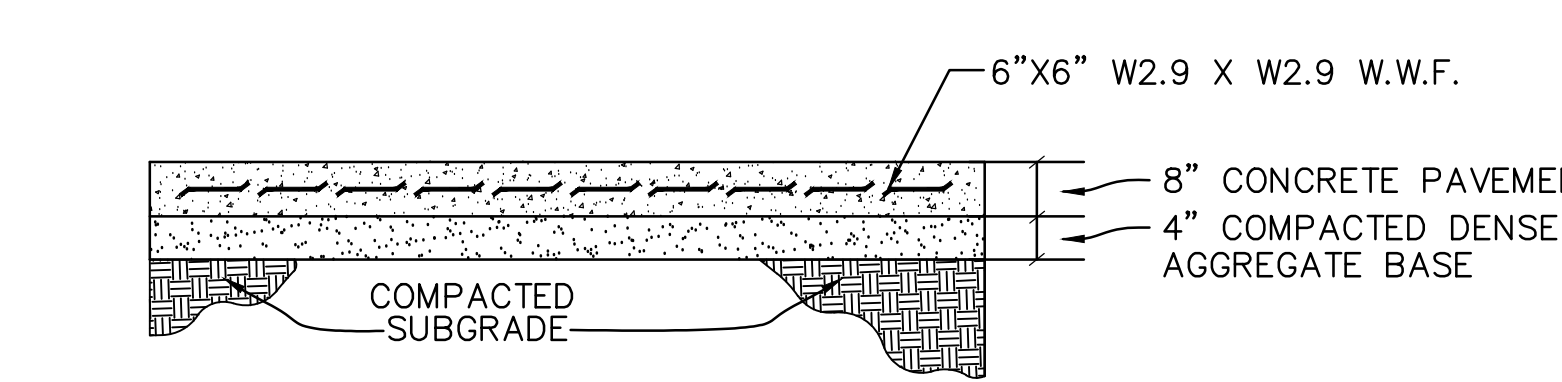
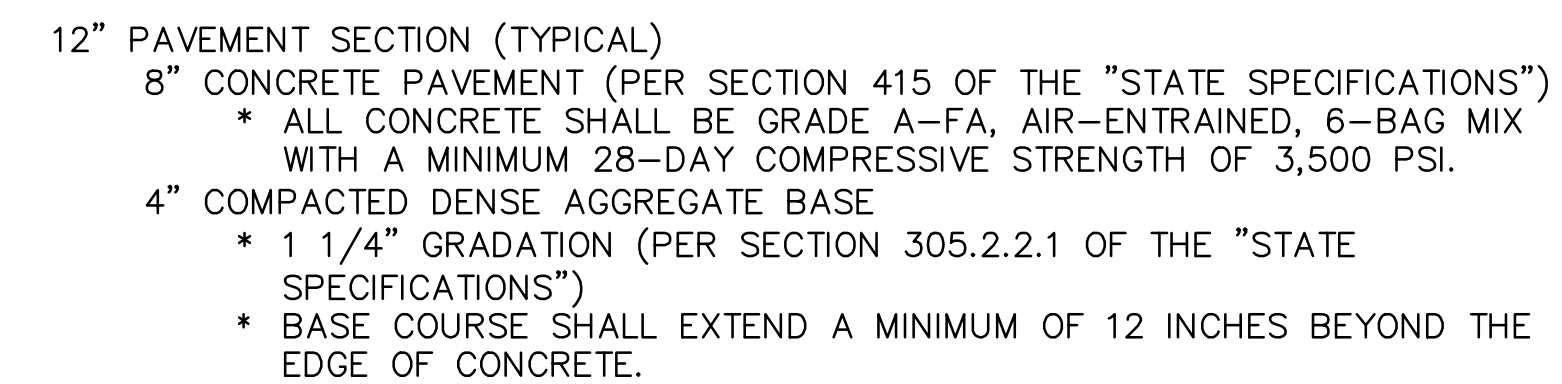
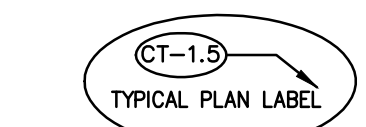


- NOTES:**
- PROVIDE TOOLED CONTROL JOINTS AT AN INTERVAL MATCHING THE SIDEWALK WIDTH BUT NO GREATER THAN 10 FEET.
 - PROVIDE EXPANSION JOINTS AT INTERVAL NO GREATER THAN 100 FEET. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL AND SHALL BE 1/2 INCH THICK.

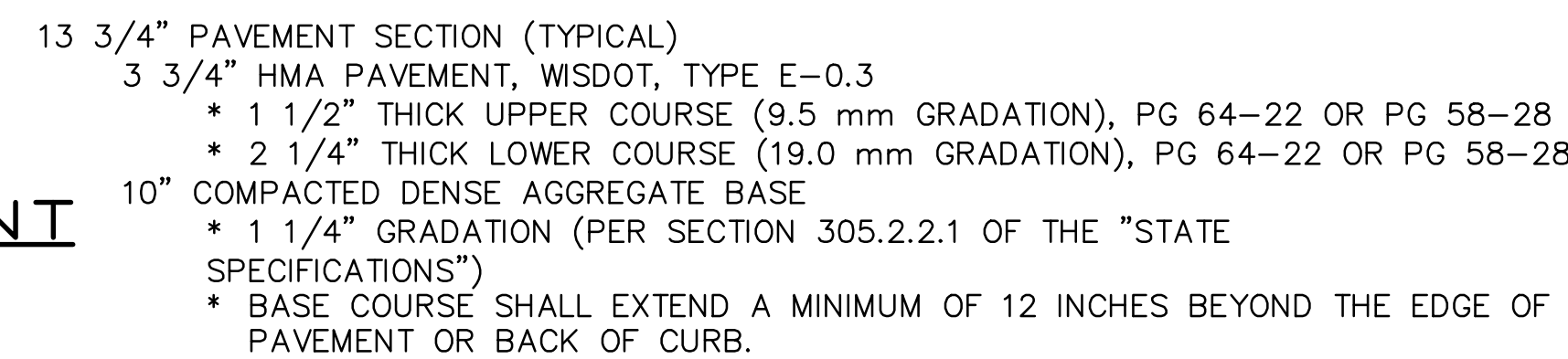


4 CURB TAPER DETAIL
NOT TO SCALE

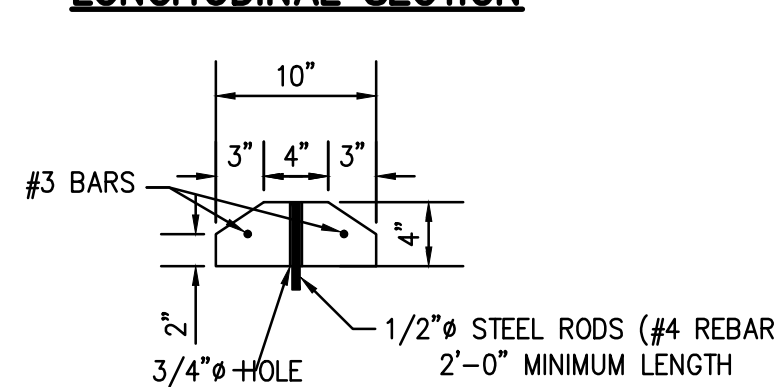
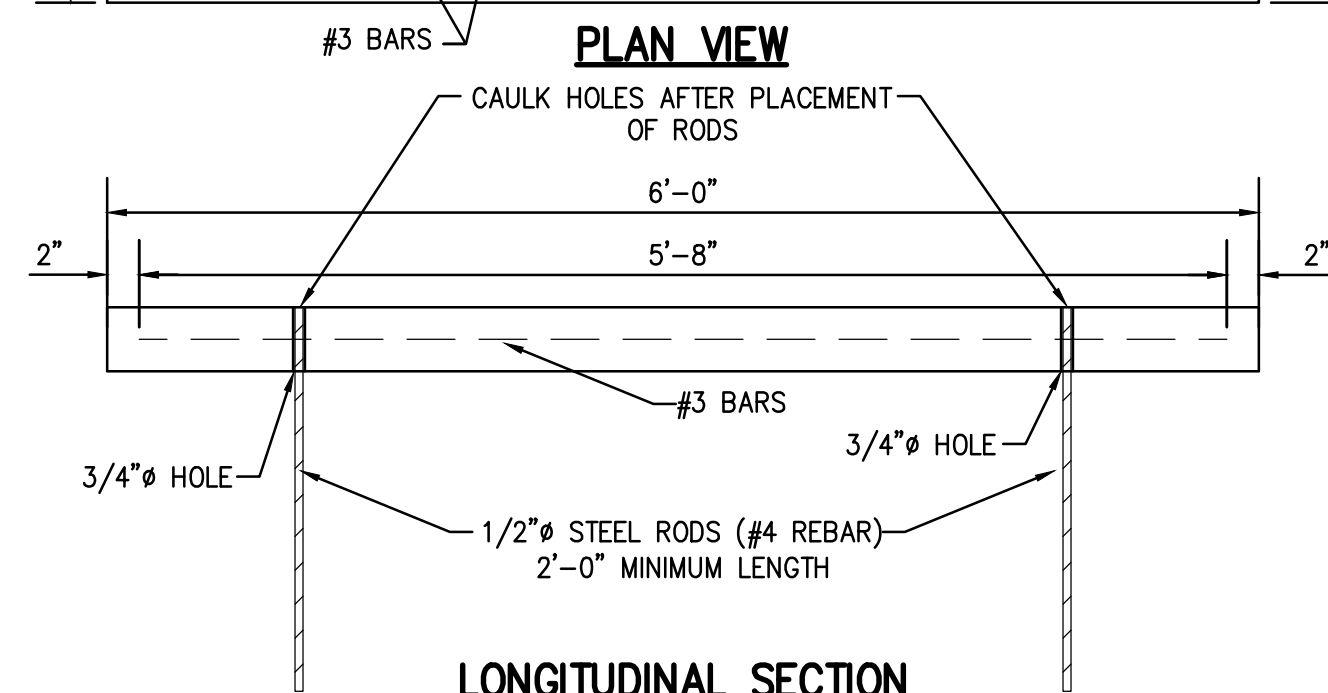
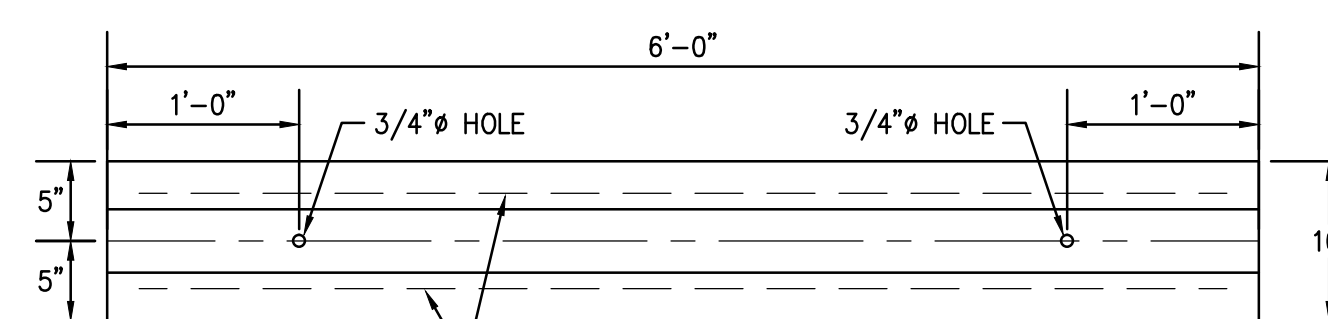
LABEL	LENGTH
CT-1.5	18" (1.5')
CT-3	36" (3.0')
CT-6	72" (6.0')
CT-10	120" (10')



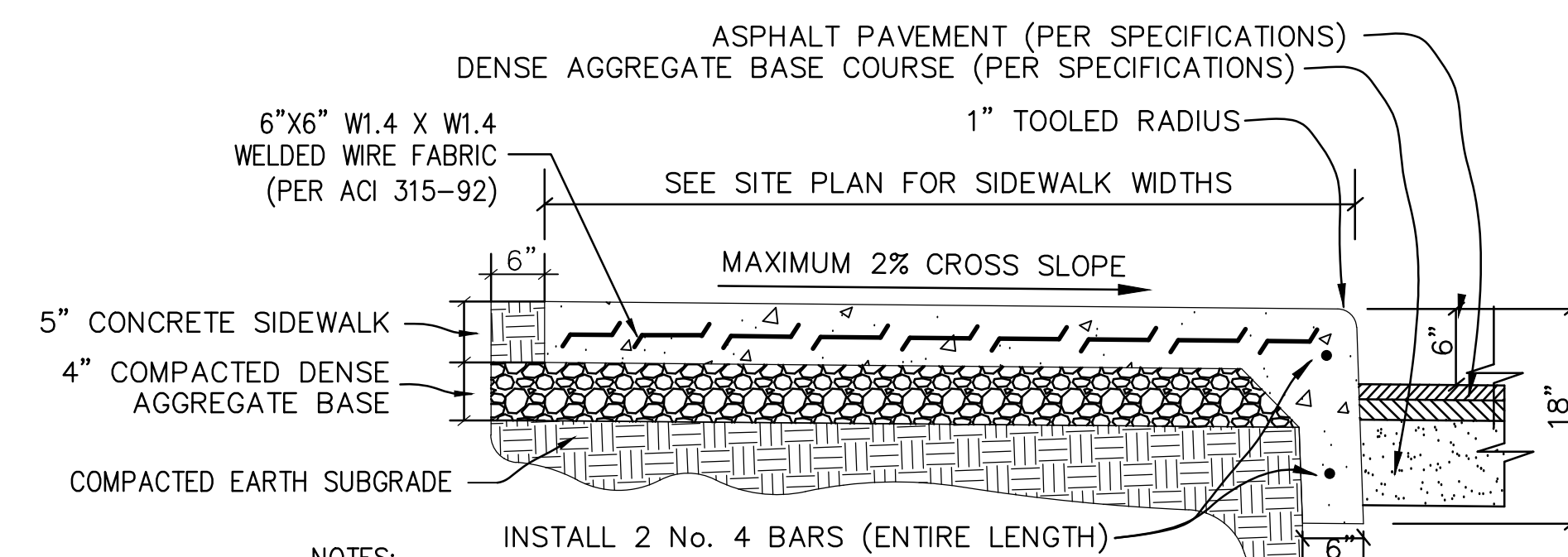
8 TRASH ENCLOSURE / APRON CONCRETE PAVEMENT SECTION
NOT TO SCALE



11 ASPHALT PAVEMENT - MEDIUM DUTY (TYPICAL SECTION)
NOT TO SCALE

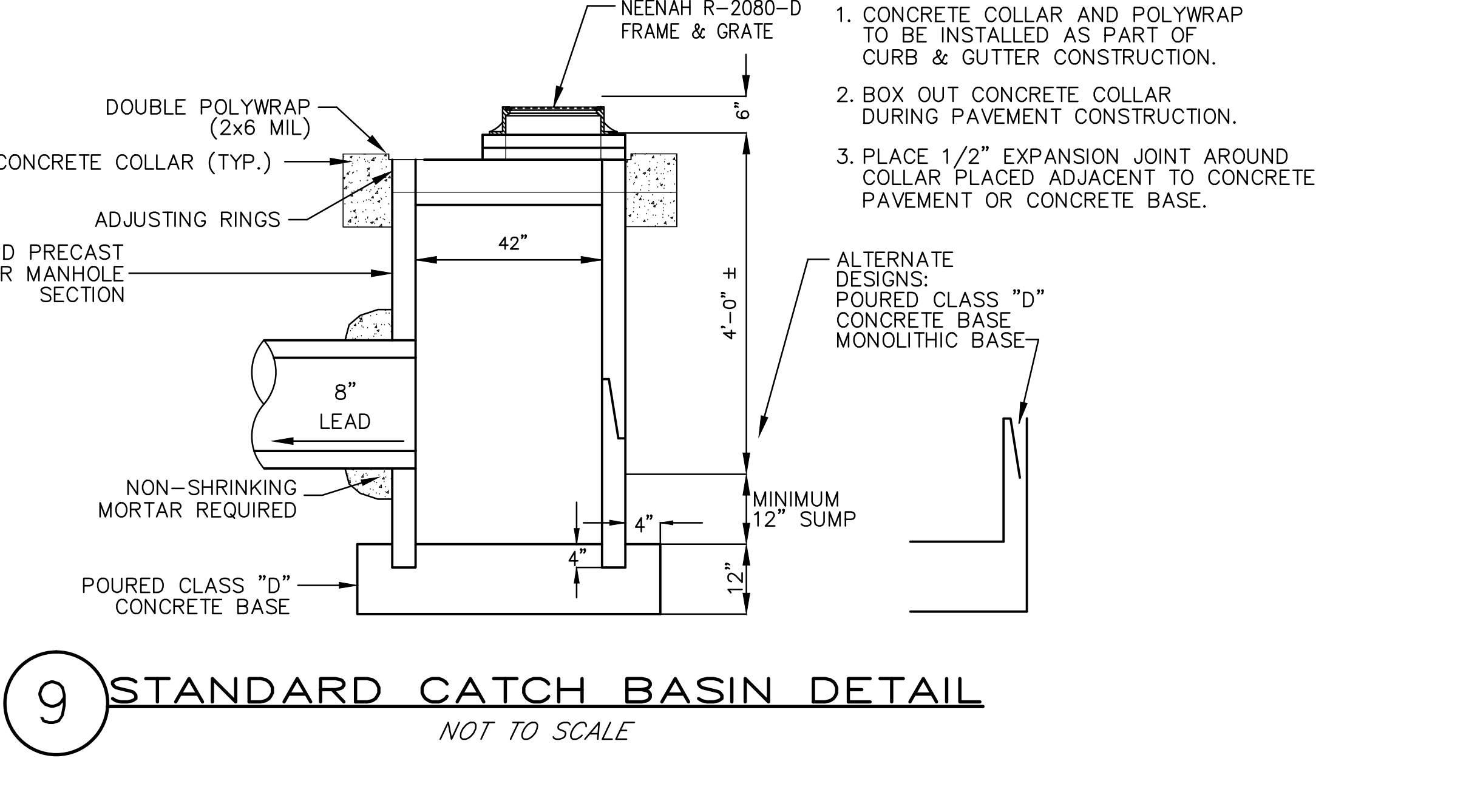
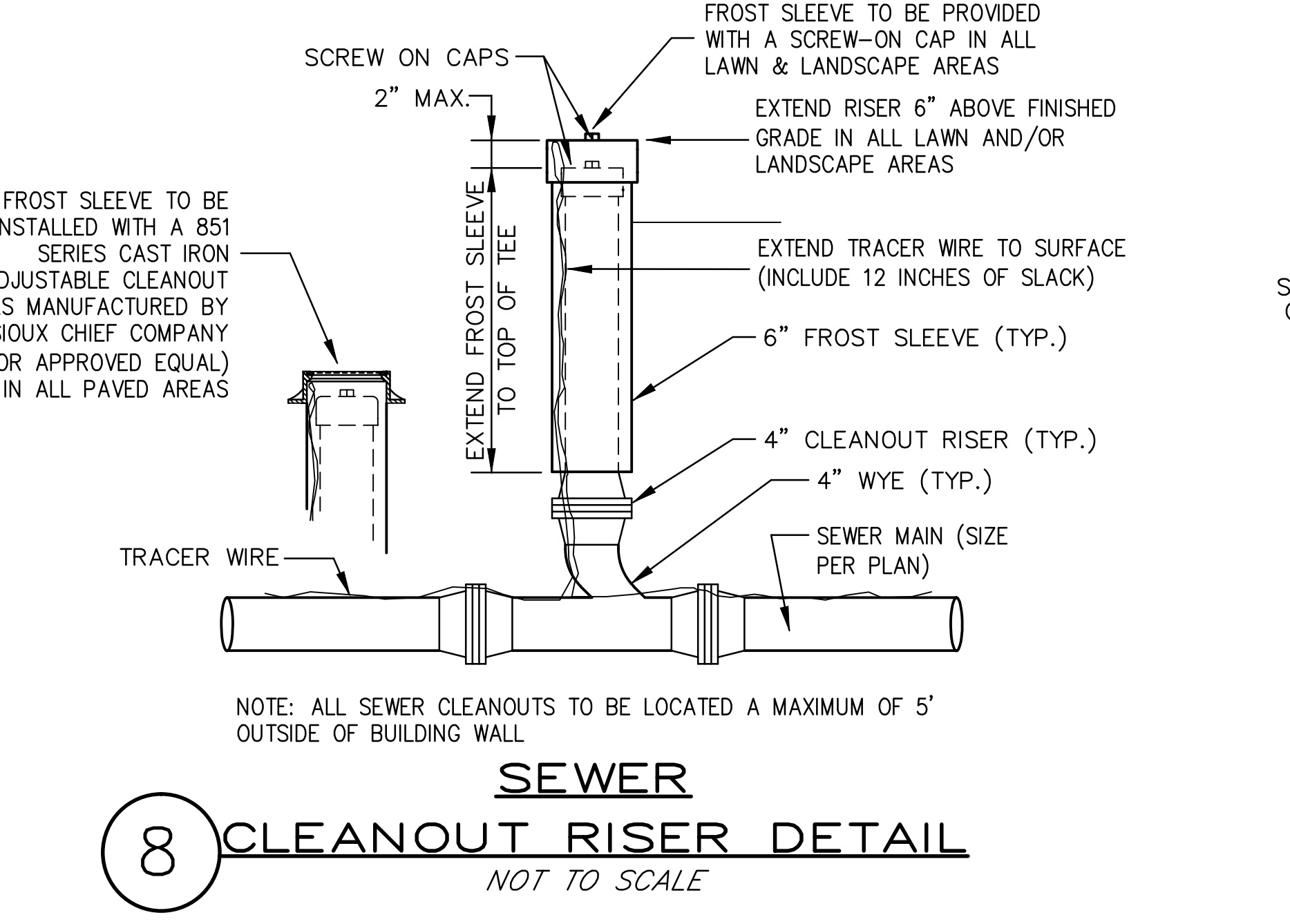
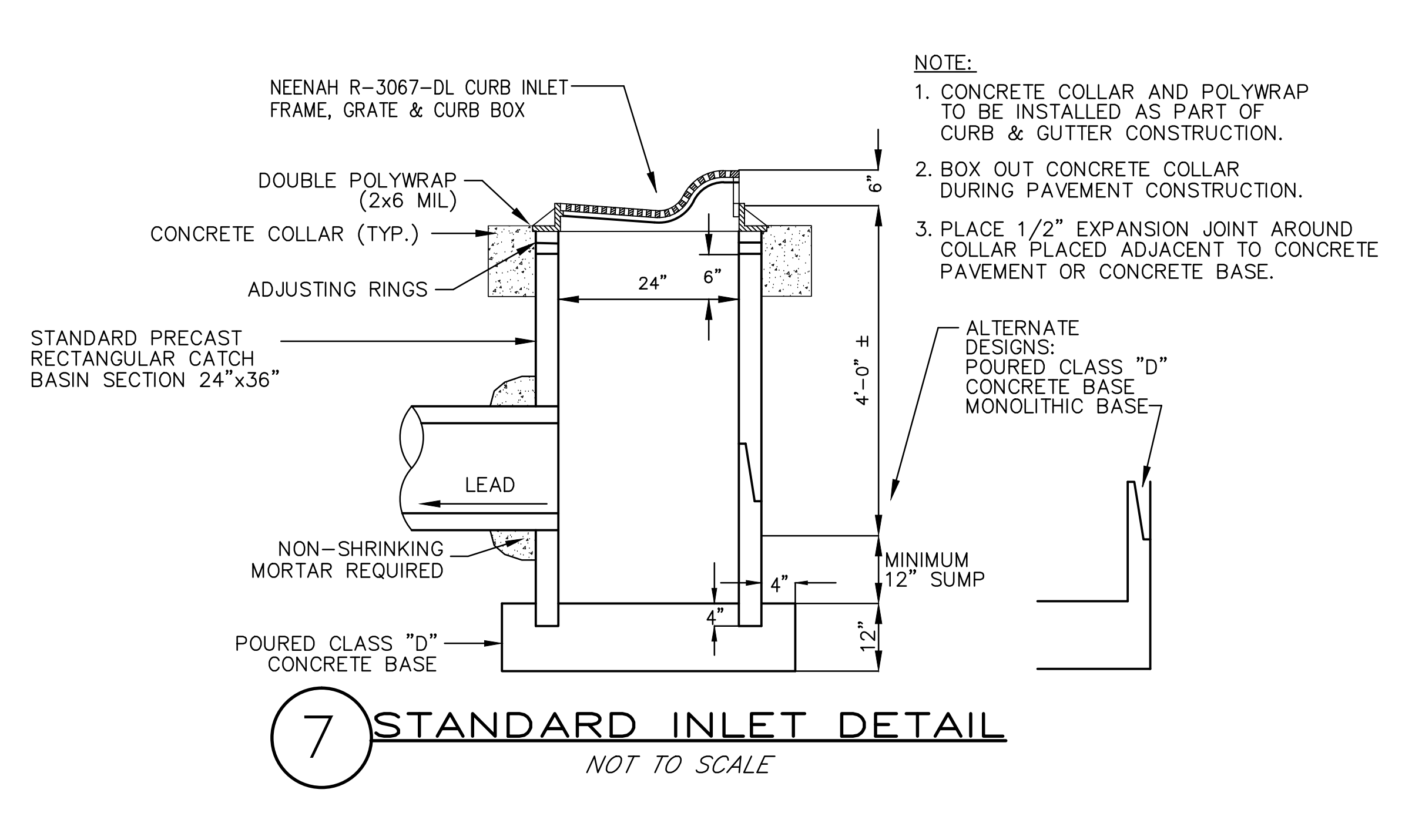
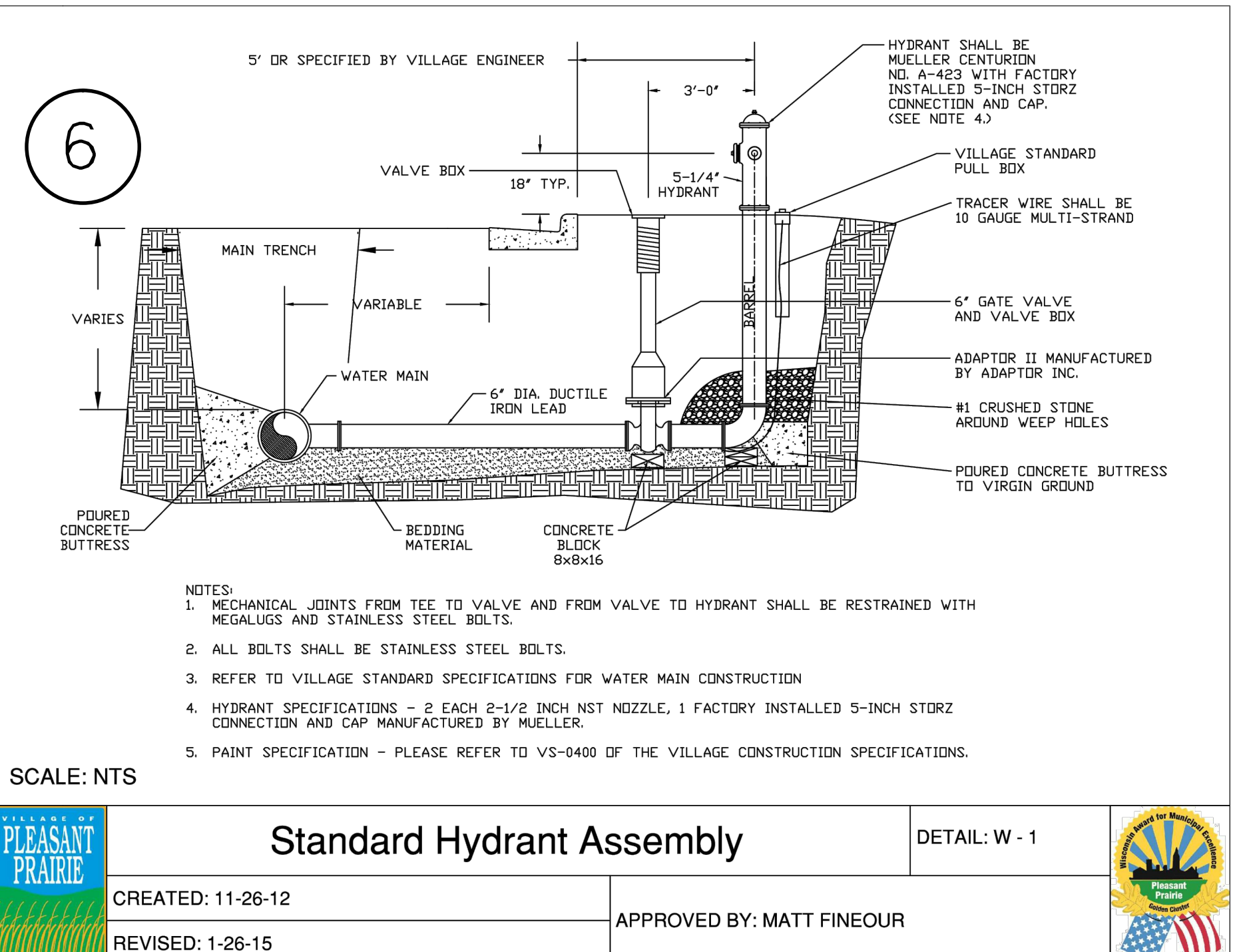
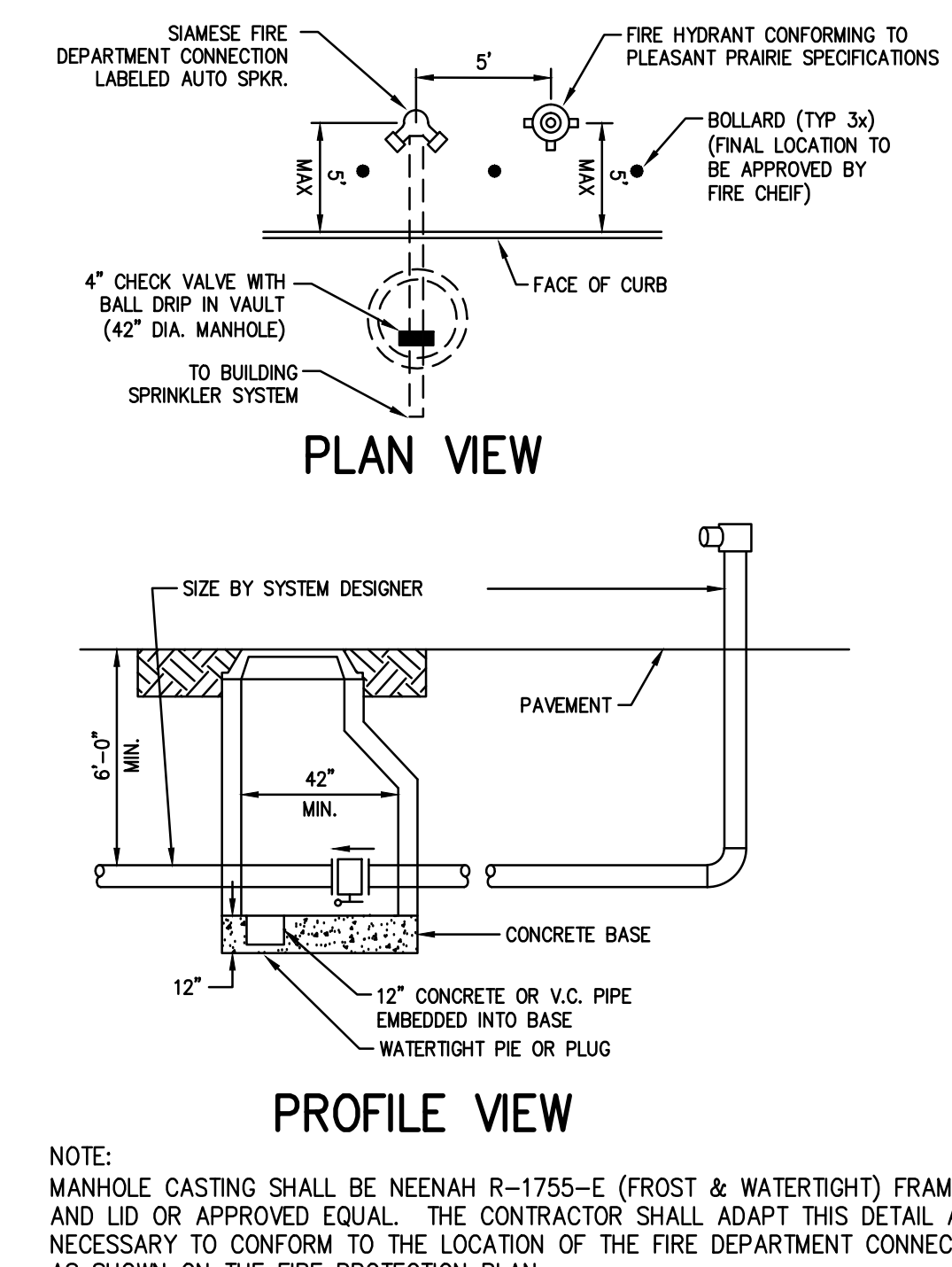
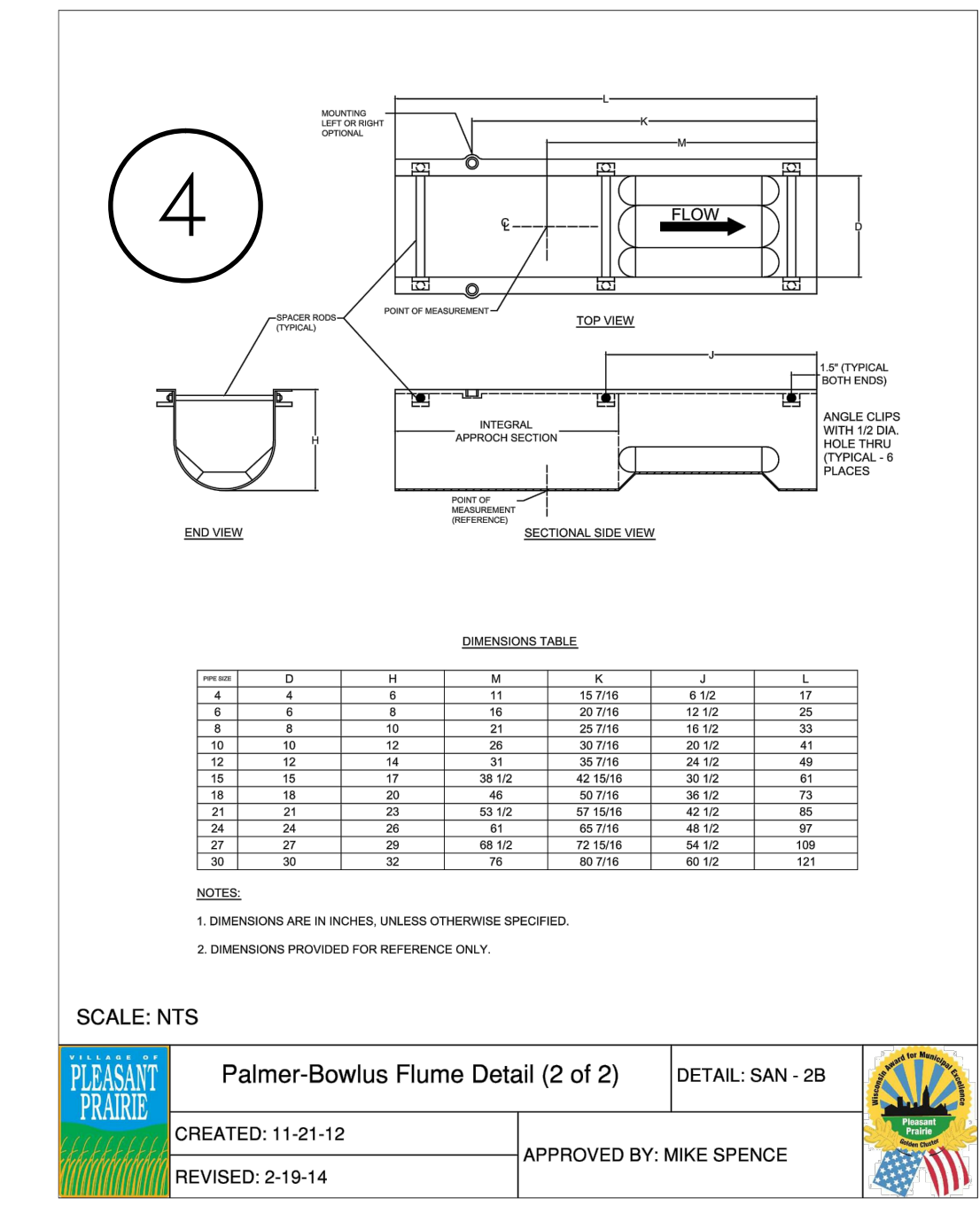
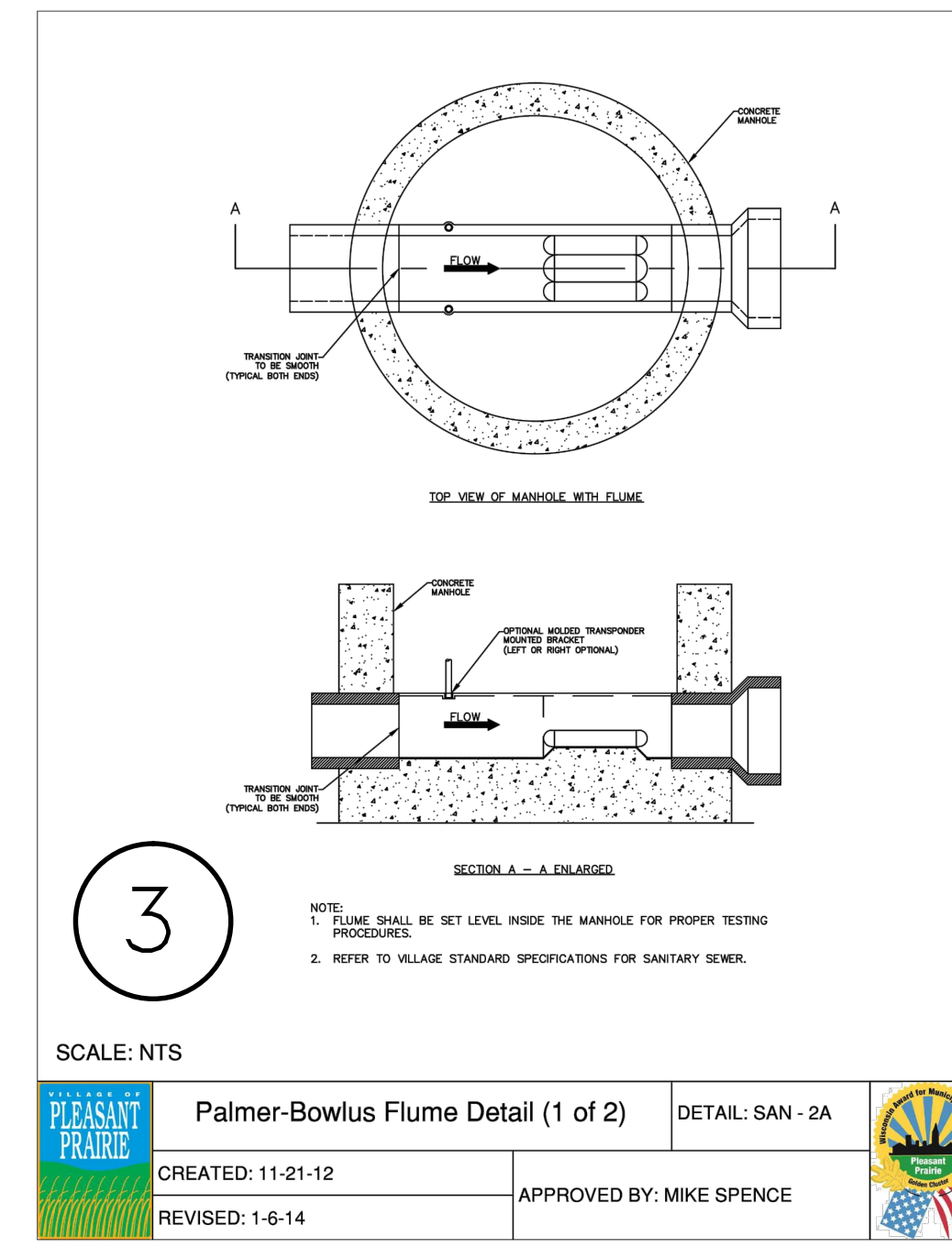
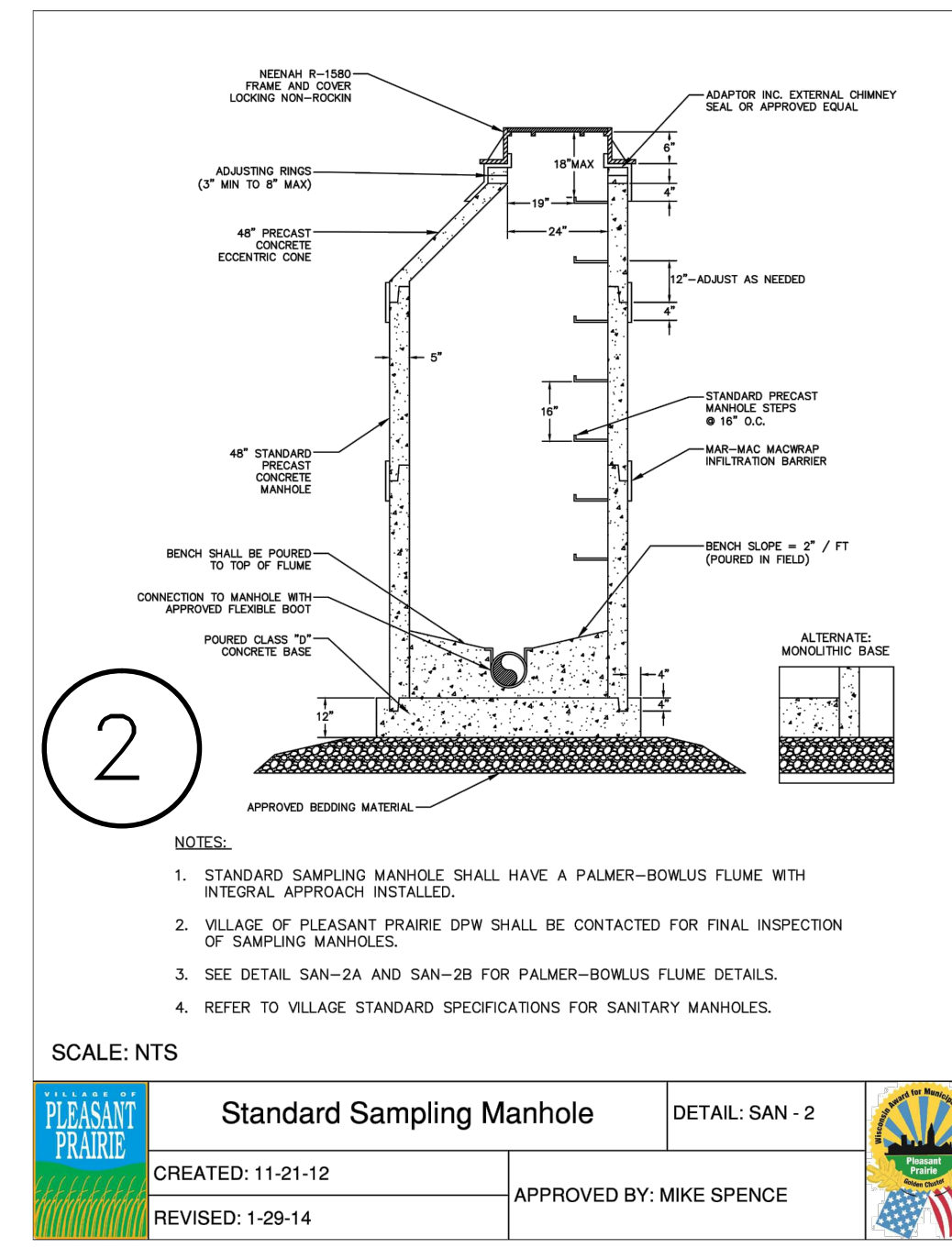
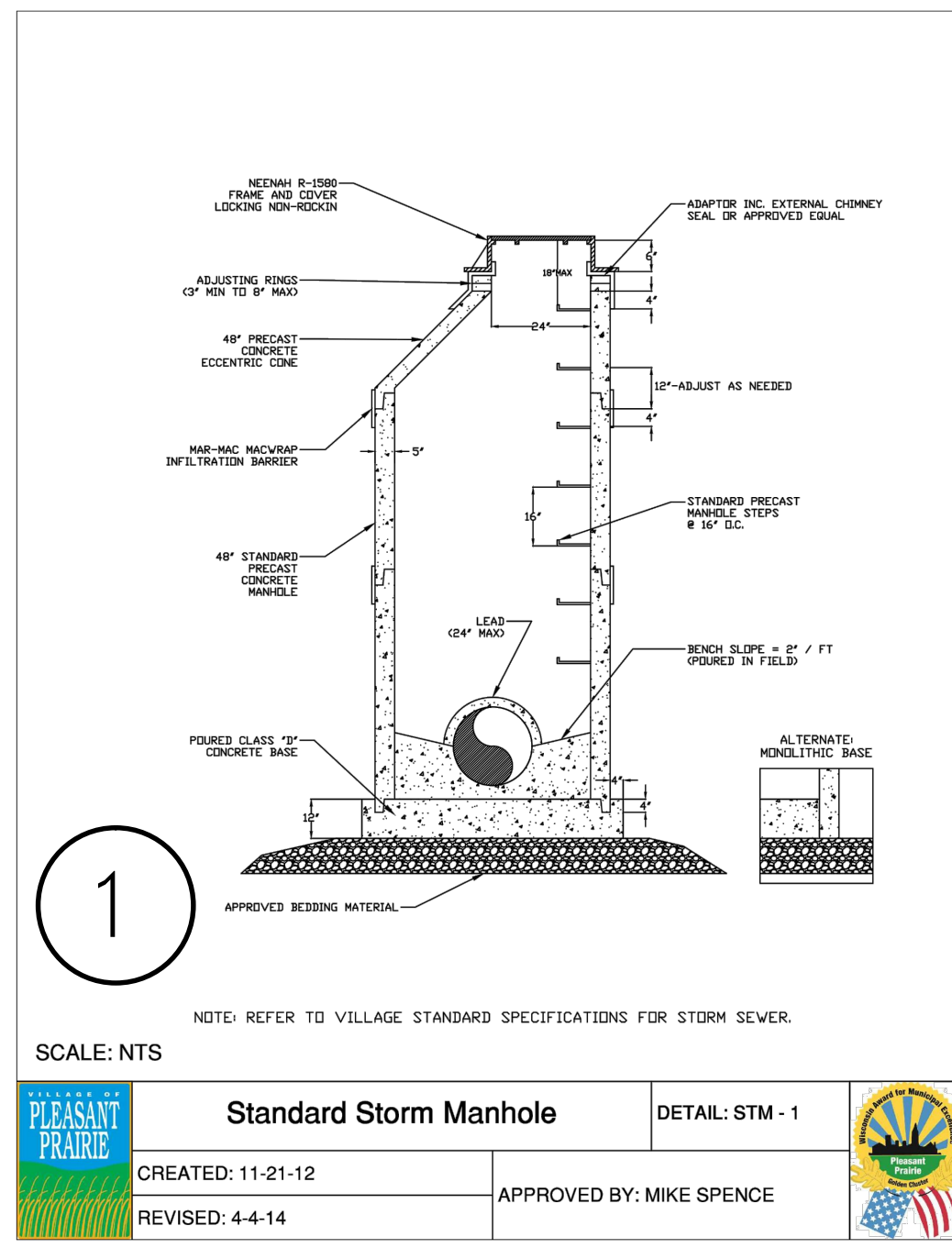


10 CONCRETE WHEEL STOP DETAIL
NOT TO SCALE



- NOTES:**
- PROVIDE TOOLED CONTROL JOINTS AT AN INTERVAL MATCHING THE SIDEWALK WIDTH BUT NO GREATER THAN 10 FEET.
 - PROVIDE EXPANSION JOINTS AT INTERVAL NO GREATER THAN 100 FEET. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL AND SHALL BE 1/2 INCH THICK.

12 SIDEWALK / BARRIER CURB (TYPICAL SECTION)
NOT TO SCALE



mb
Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website: www.nmbssc.net

OUTLOT 21, PRAIRIE RIDGE TYPICAL SECTIONS & CONSTRUCTION DETAILS FOR OLDACRE MCDONALD, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

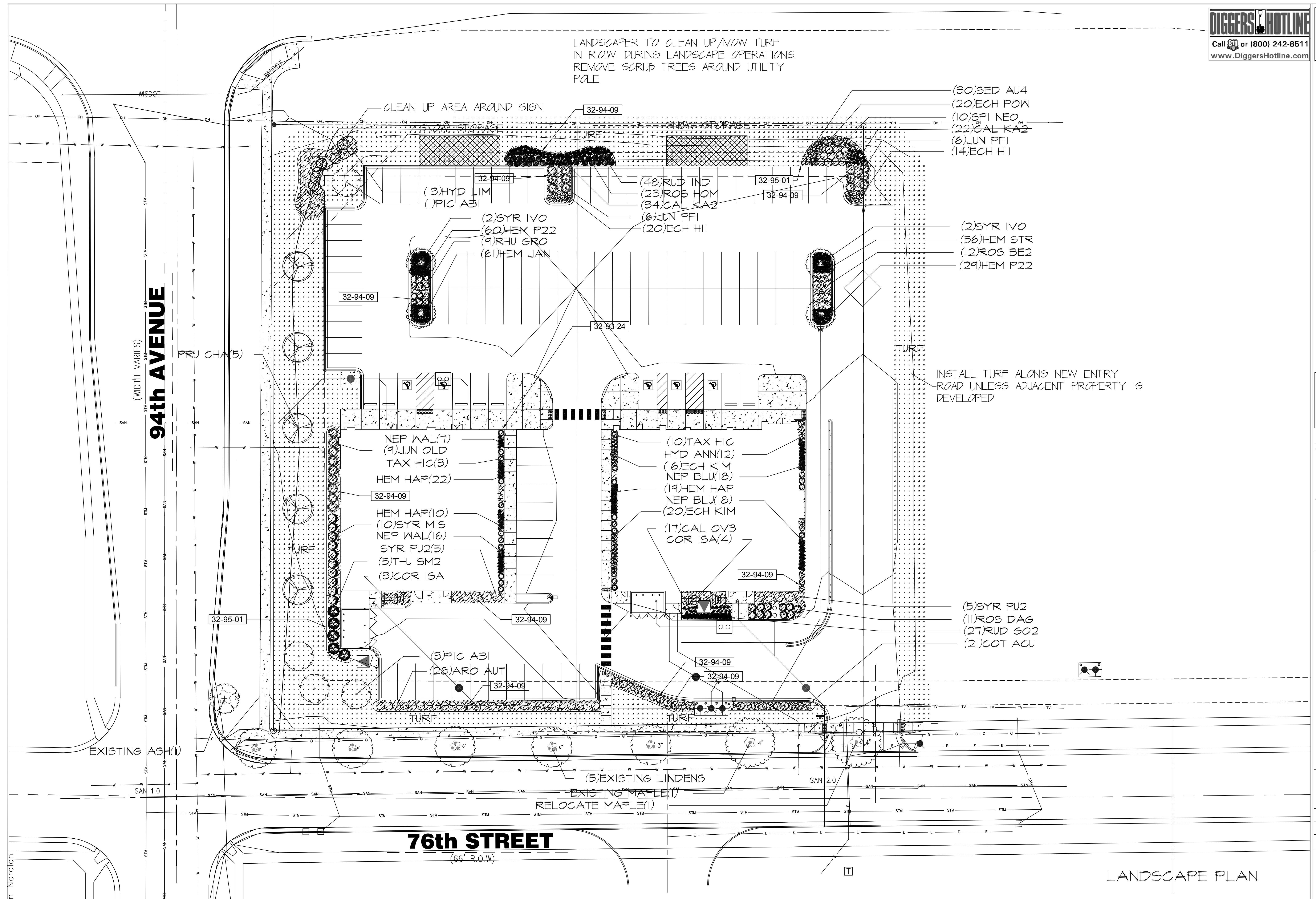
NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: JJC
DATE: 4-6-2015
CHECKED: MDE
DATE: 6-12-2015

2015.0011.01
SHEET
C-11

ISSUE FOR APPROVAL - 6-12-2015

LANDSCAPER TO CLEAN UP/MOW TURF
 IN R.O.W. DURING LANDSCAPE OPERATIONS.
 REMOVE SCRUB TREES AROUND UTILITY
 POLE



THOMAS NORDLOH ASSOCIATES
 Landscape Architecture
 Project Management
 4111 Taft Rd, Kenosha WI 53142



No.	Revision/Issue	Date
1		
2		
3		
4		

OUTLOT 21 MULTI-TENANT RETAIL
 LANDSCAPE
 FOR
 OLDACRE MCDONALD, LLC
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 051-000624

Project: Landscape
 Date: 6-12-15
 Scale:

Sheet

LANDSCAPE PLAN

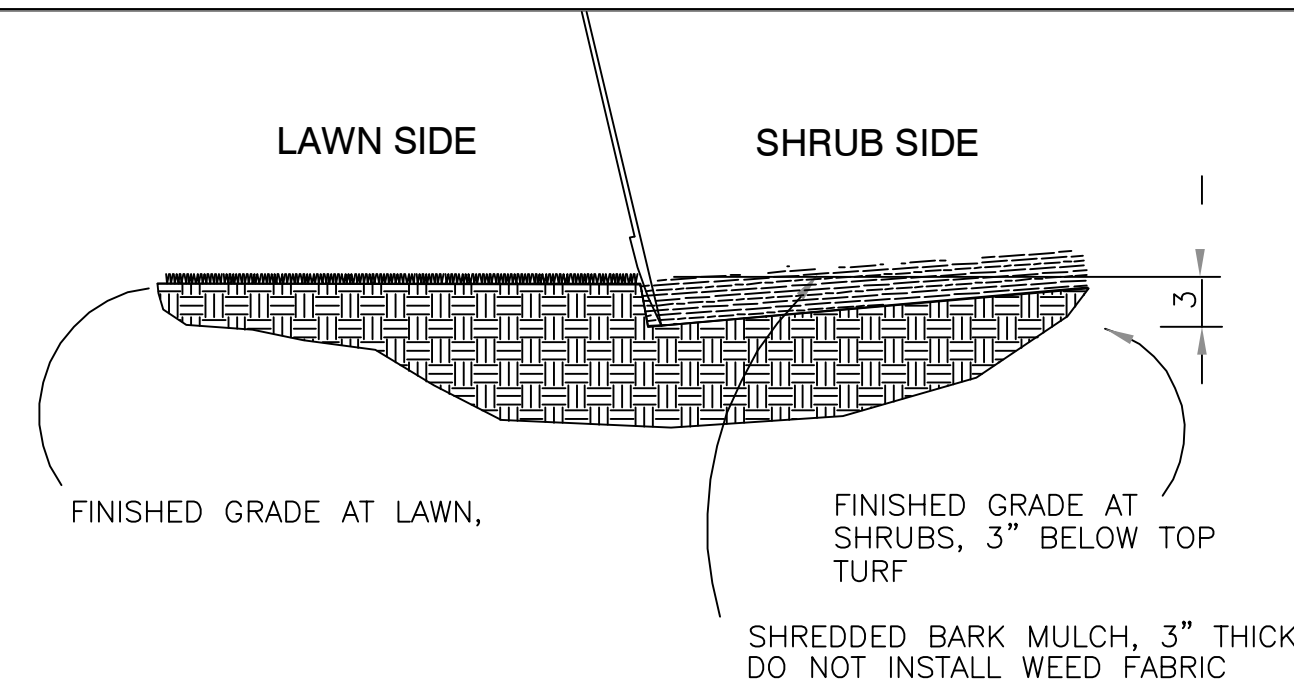
Tom Nordloh

REFERENCE NOTES SCHEDULE

SYMBOL	PLANTING DESCRIPTION	QTY
32-93-23	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	21,054 sf

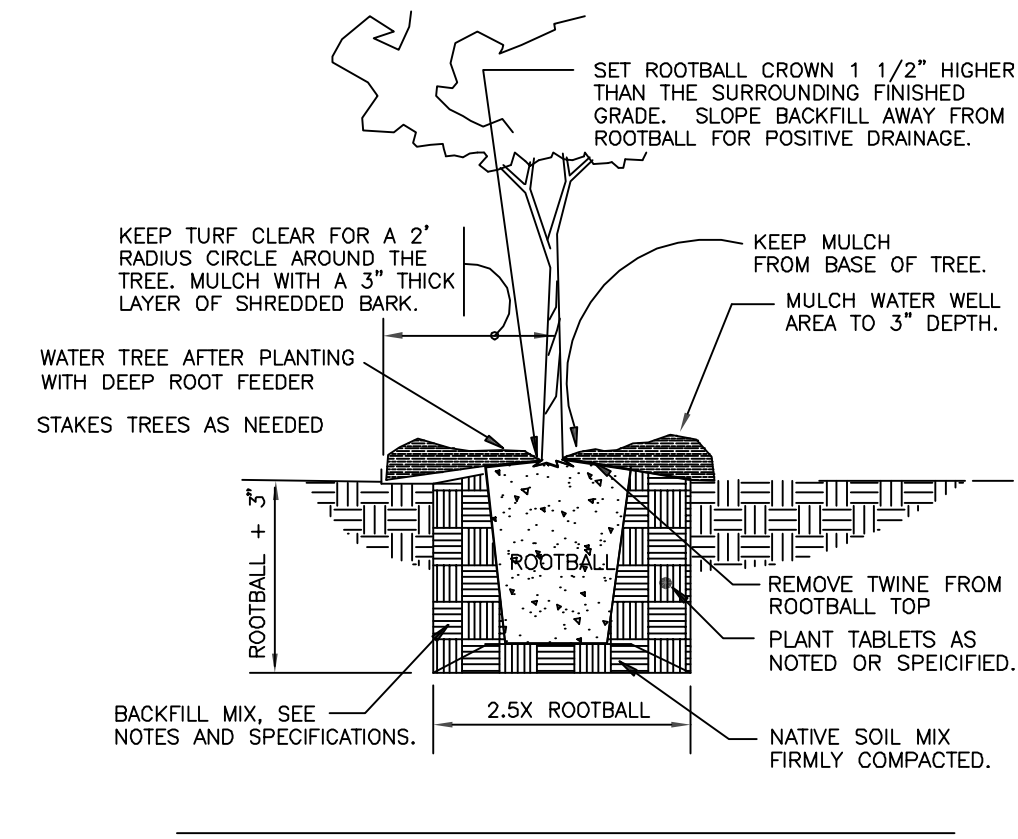
- GENERAL LANDSCAPE NOTES:
1. Topsoil return to depth of 4A minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1A, construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
 2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
 3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
 4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs.
 5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan.
 6. Any substitutions of plant type, quantity or size must be approved by Landscape Architect.
 7. Planting beds shall receive a 3A layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2A layer of shredded bark mulch.
 8. Spade cut plant beds and tree rings with a 4A deep shovel cut.
 9. Perennial and annual beds to have a 2A layer of compost mulch incorporated 6A deep into the planting bed before installation of plants.
 10. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
 11. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4A immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
 12. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. Single net, double net or Turf Reinforcement Mats shall be used as per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
 13. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
 14. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
 15. If a permanent irrigation system is required in turf areas install a system with head to head coverage. Ensure that all turf is covered and that no voids are left which will create brown or dead grass in dry weather. Planting beds around perimeter of building shall have a drip irrigation system installed on separate manifold. Install wireless rain gauge and timer. Installation of sleeves for irrigation pipe is by irrigation or landscape contractor. Water meter, backflow preventer and electrical (by others) for timer are to be installed by a licensed plumber and electrician. Irrigation contractor is responsible to check local codes that may impact their work.
 16. Warranty of plants, trees, evergreens, shrubs shall be for a period of one (1) year from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

SYMBOL	PLANTING ACCESSORIES DESCRIPTION	QTY
32-94-09	AREA TO RECEIVE 3" THICK BARK MULCH.	51.43 cy
32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	600 lf



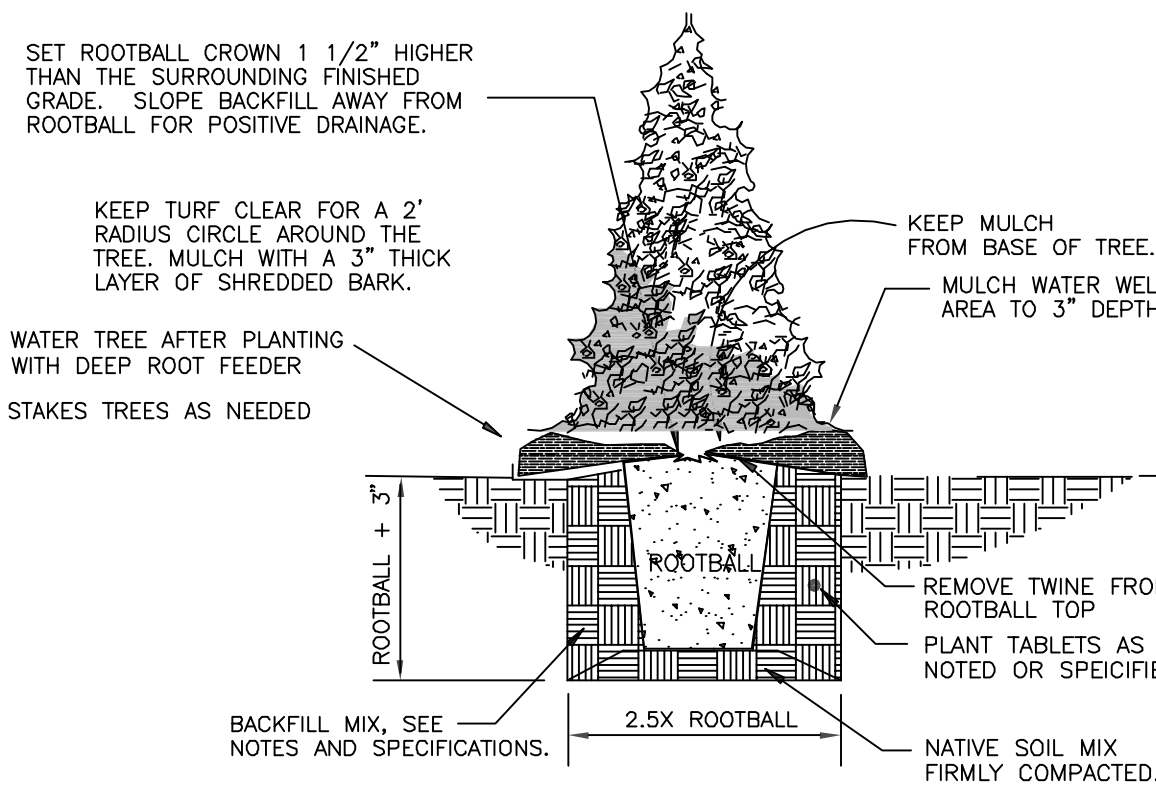
201 SHOVEL CUT BED EDGE

3" = 1'-0"



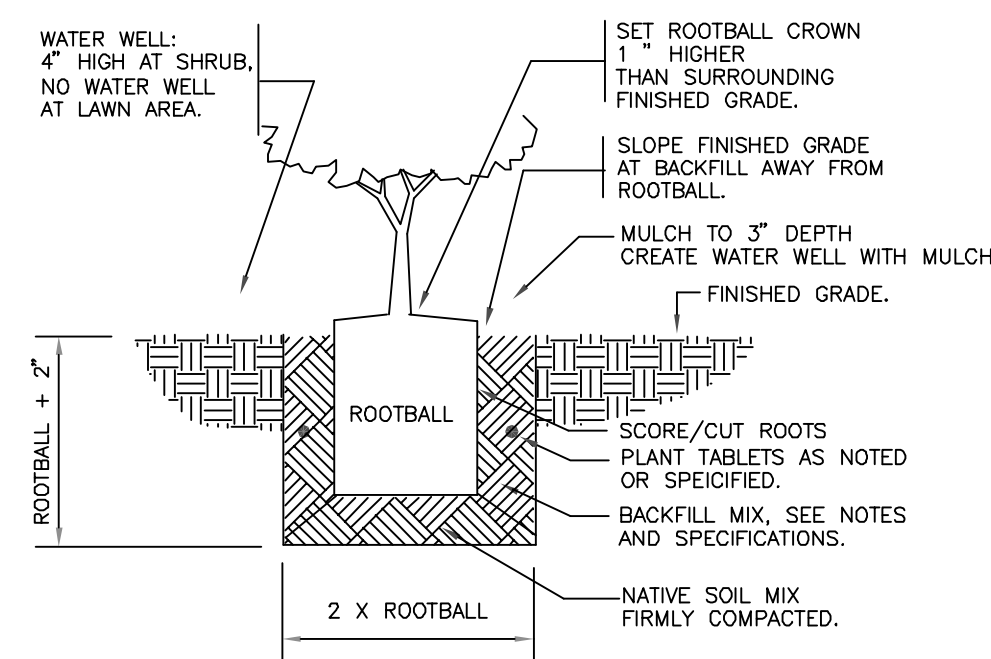
200 TREE PLANTING DETAIL

1" = 1'-0"



102 EVERGREEN PLANTING DETAIL

1" = 1'-0"



103 SHRUB PLANTING

1" = 1'-0"

PLANT SCHEDULE

TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	QTY
ACE AUB	Autumn Blaze Red Maple / <i>Acer rubrum</i> 'Autumn Blaze'	Existing		2
FRA AME	White Ash / <i>Fraxinus americana</i>	Existing		1
FRU CHA	Chanticleer Pear / <i>Pyrus calleryana</i> 'Chanticleer'	B & B	2.5'Gal	5
SYR IVO	Ivory Silk Japanese Tree Lilac / <i>Syringa reticulata</i> 'Ivory Silk'		7-8'	4
TIL RED	Redmond American Linden / <i>Tilia americana</i> 'Redmond'	Existing		5
EVERGREEN TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	QTY
PIC ABI	Norway Spruce / <i>Picea abies</i>	6'		4
PIN NIG	Austrian Black Pine / <i>Pinus nigra</i>	Existing		1
THU SM2	Emerald Green Arborvitae / <i>Thuja occidentalis</i> 'Smaragd'	5'		5
SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	CAL	QTY
ARO AUT	Autumn Magic Black Chokeberry / <i>Aronia melanocarpa</i> 'Autumn Magic'	3'		20
COR ISA	Isanti Redosier Dogwood / <i>Cornus sericea</i> 'Isanti'	5 gal		7
COT ACU	Peking Cotoneaster / <i>Cotoneaster acutifolius</i>	3'		21
HYD ANN	Annabelle Smooth Hydrangea / <i>Hydrangea arborescens</i> 'Annabelle'	5 gal		12
HYD LIM	Limelight Hydrangea / <i>Hydrangea paniculata</i> 'Limelight' TM	5 gal		13
RHU GRO	Gro-Low Fragrant Sumac / <i>Rhus aromatica</i> 'Gro-Low'	3 gal		12
ROS BE2	Rose / <i>Rosa</i> x 'Belle Poitevine'	3 gal		12
ROS DAG	Rose / <i>Rosa</i> x 'Frau Dagmar Hastrup'	5 gal		11
ROS HOM	Rose / <i>Rosa</i> x 'Homereun'	3 gal		23
SPI NEO	Neon Flash Spiraea / <i>Spiraea x bumalda</i> 'Neon Flash'	3 gal		10
SYR PU2	Purple Penda Lilac / <i>Syringa patula</i> Purple Penda	3 gal		10
SYR MIS	Miss Kim Lilac / <i>Syringa patula</i> 'Miss Kim'	24"		10
ANNUALS/PERENNIALS	COMMON NAME / BOTANICAL NAME	SIZE	CAL	QTY
ECH KIM	Purple Coneflower / <i>Echinacea purpurea</i> 'Kim's Knee High' TM	1 gal		36
ECH HII	Hot Papaya Coneflower / <i>Echinacea</i> x 'Hot Papaya'	1 gal		34
ECH POW	Pow Wow White Coneflower / <i>Echinacea</i> x 'Pow Wow White'	1 gal		20
HEM HAP	Happy Returns Daylily / <i>Hemerocallis</i> x 'Happy Returns'	1 gal		41
HEM JAN	Daylily / <i>Hemerocallis</i> x 'Janice Brown' TM	1 gal		61
HEM P22	Purple D'oro Daylily / <i>Hemerocallis</i> x 'Purple D'oro'	1 gal		84
HEM STR	Daylily / <i>Hemerocallis</i> x 'Strawberry Candy' TM	1 gal		56
NEP BLU	Catmint / <i>Nepeta x faassenii</i> 'Blue Wonder'	1 gal		36
NEP WAL	Walkers Low Catmint / <i>Nepeta x faassenii</i> 'Walkers Low'	1 gal		23
RUD GO2	Black-eyed Susan / <i>Rudbeckia fulgida</i> sullivantii 'Goldsturm'	1 gal		27
RUD IND	Coneflower / <i>Rudbeckia fulgida</i> 'Indian Summer'	1 gal		48
SED AU4	Shony Stonecrop / <i>Sedum spectabile</i> 'Autumn Fire'	1 gal		30
GRASSES	COMMON NAME / BOTANICAL NAME	SIZE	CAL	QTY
CAL KA2	Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	1 gal		56
CAL OV3	Overdam Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Overdam'	1 gal		17
SHRUB EVERGREENS	COMMON NAME / BOTANICAL NAME	SIZE	CAL	QTY
JUN PFI	Kallay Compact Pfitzer Juniper / <i>Juniperus chinensis</i> 'Kallays Compact'	5 gal		12
JUN OLD	Old Gold Juniper / <i>Juniperus chinensis</i> 'Old Gold'	5 gal		9
TAX HIC	Hicks Yew / <i>Taxus x media</i> 'Hicksii'	24"		21



THOMAS NORDLOH ASSOCIATES
Landscape Architecture
Project Management
4111 Taft Rd, Kenosha WI 53142



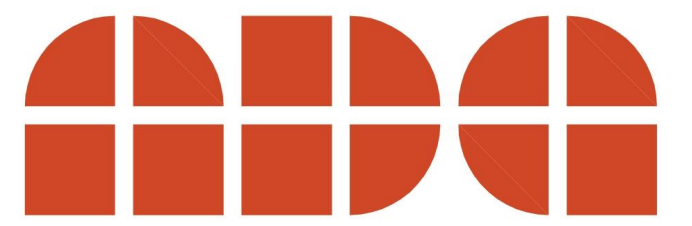
Date	Revision/Issue	No.
		1
		2
		3
		4

OUTLOT 21 MULTI-TENANT RETAIL LANDSCAPE FOR OLDACRE MCDONALD, LLC VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

Thomas H. Nordloh
Landscape Architect
Reg. # 051-000624

Project Landscape
Date 6-12-15
Scale

Sheet



**ARCHITECTURAL
DESIGN ■ GUILD**

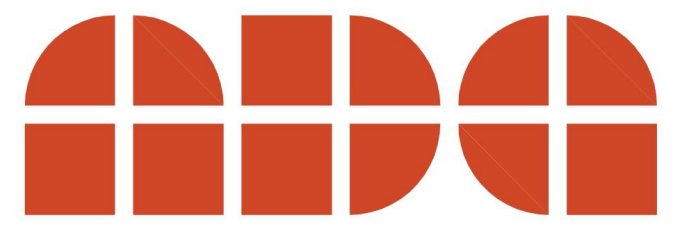
2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



Entry Perspective

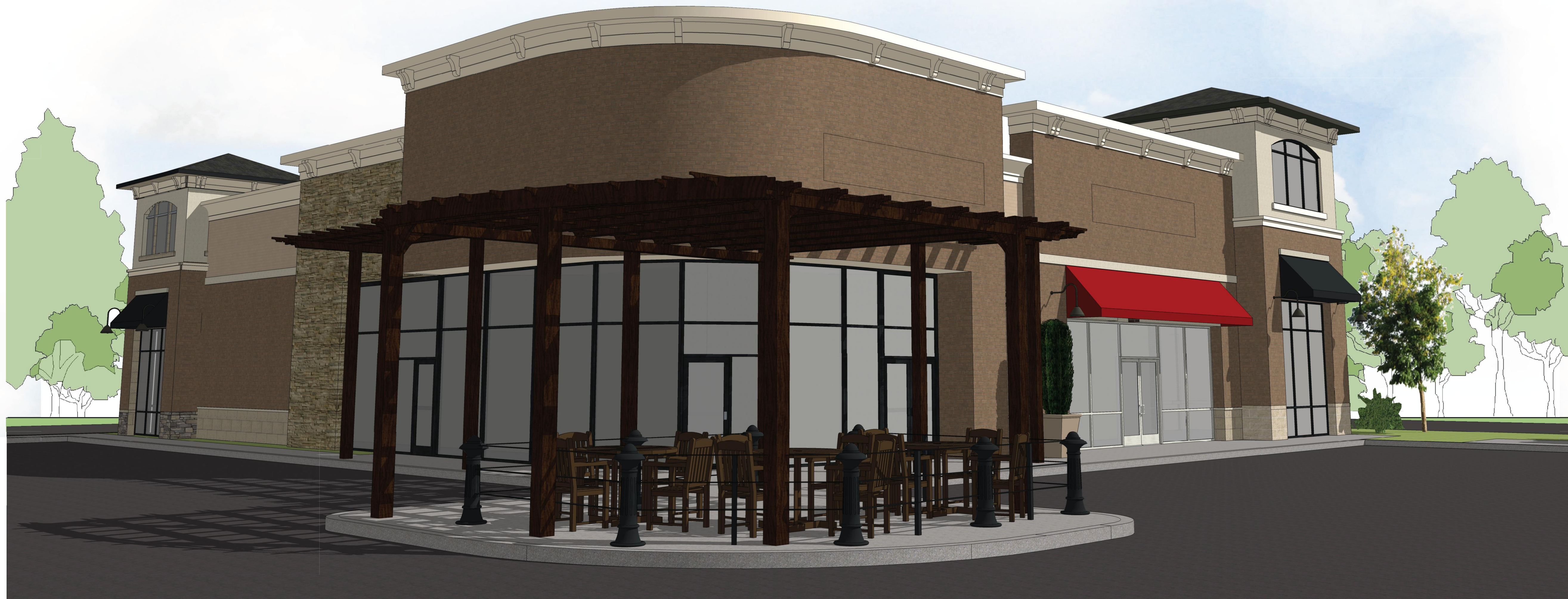
Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI



**ARCHITECTURAL
DESIGN ■ GUILD**

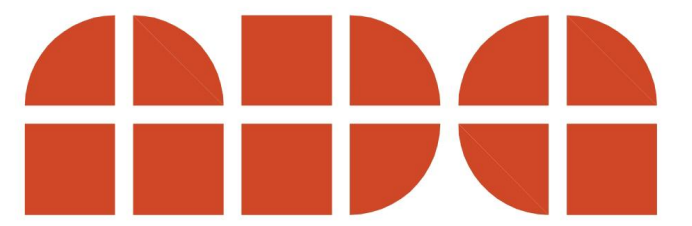
2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



Entry Perspective

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI



**ARCHITECTURAL
DESIGN ■ GUILD**

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



Entry Perspective

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015



**ARCHITECTURAL
DESIGN ■ GUILD**

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



Entry Perspective

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI



ARCHITECTURAL
DESIGN ■ GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



North Elevation



East Elevation

Design Development Plans

Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

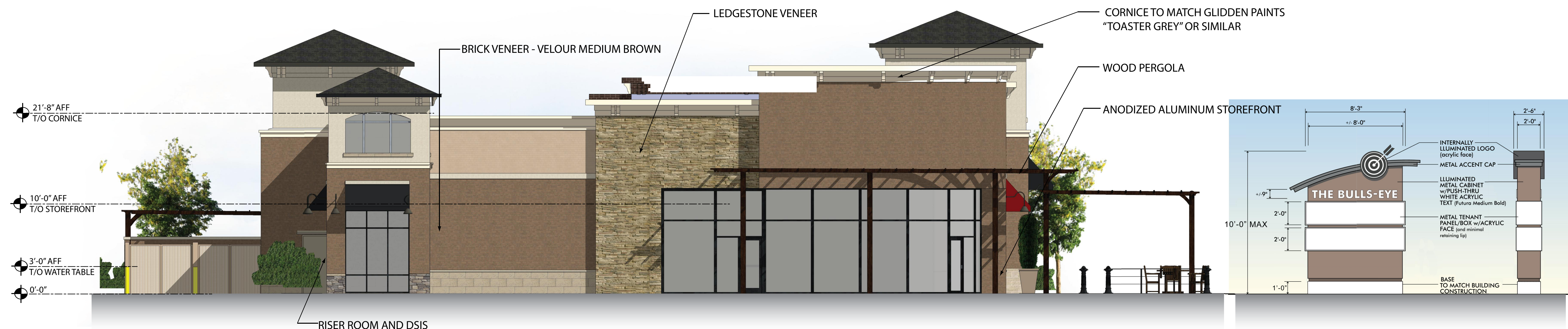


ARCHITECTURAL
DESIGN ■ GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



South Elevation



East Elevation

Monument Sign N.T.S.

Design Development Plans

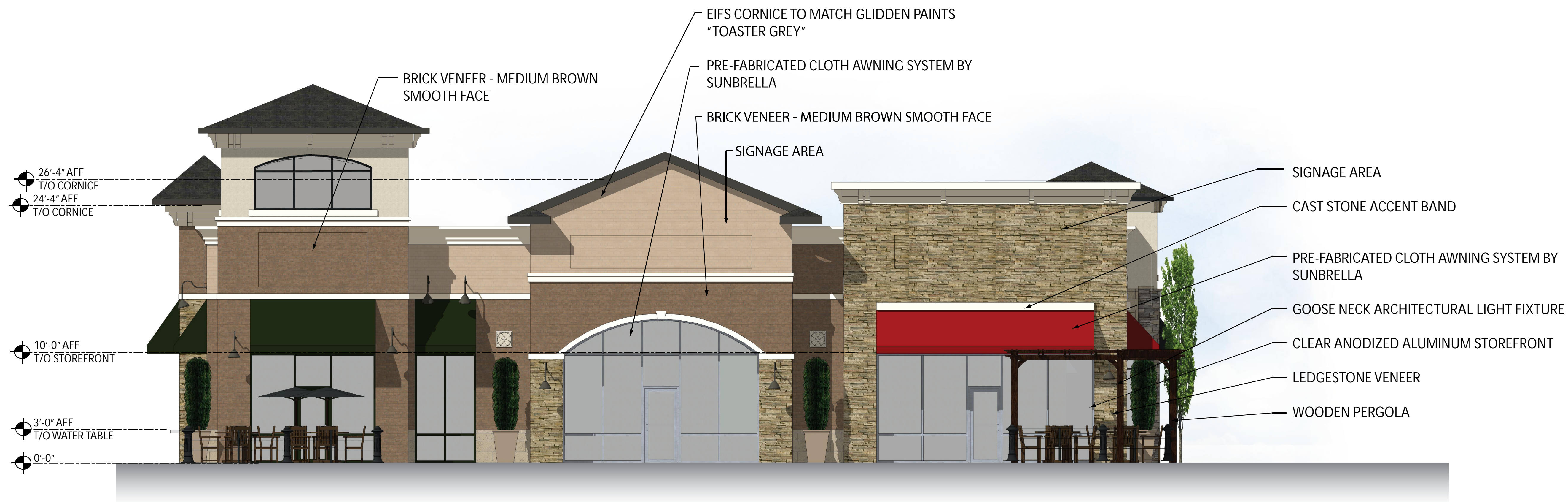
Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015



ARCHITECTURAL
DESIGN ■ GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



North Elevation



East Elevation

Design Development Plans

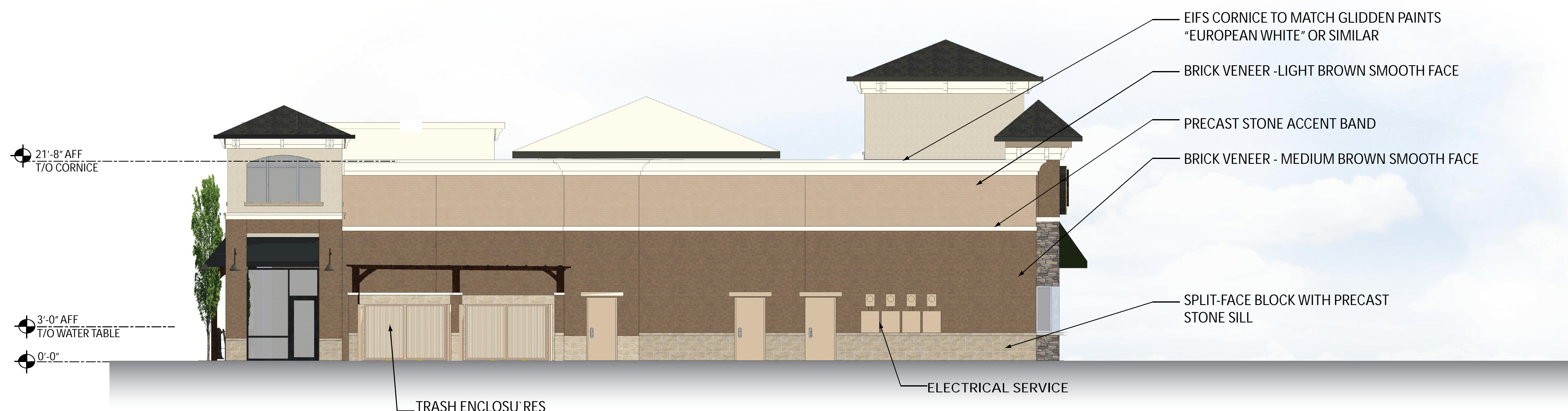
Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015

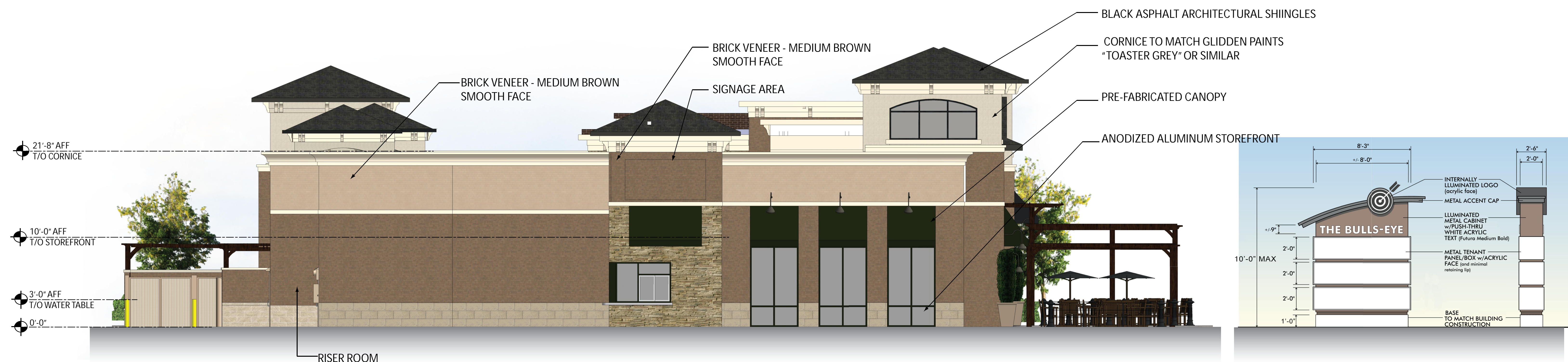


ARCHITECTURAL
DESIGN ■ GUILD

2710 Sutton Boulevard
St. Louis, Missouri 63143
www.adg-stl.com
P:: 314.644.1234
F:: 314.644.4373



South Elevation



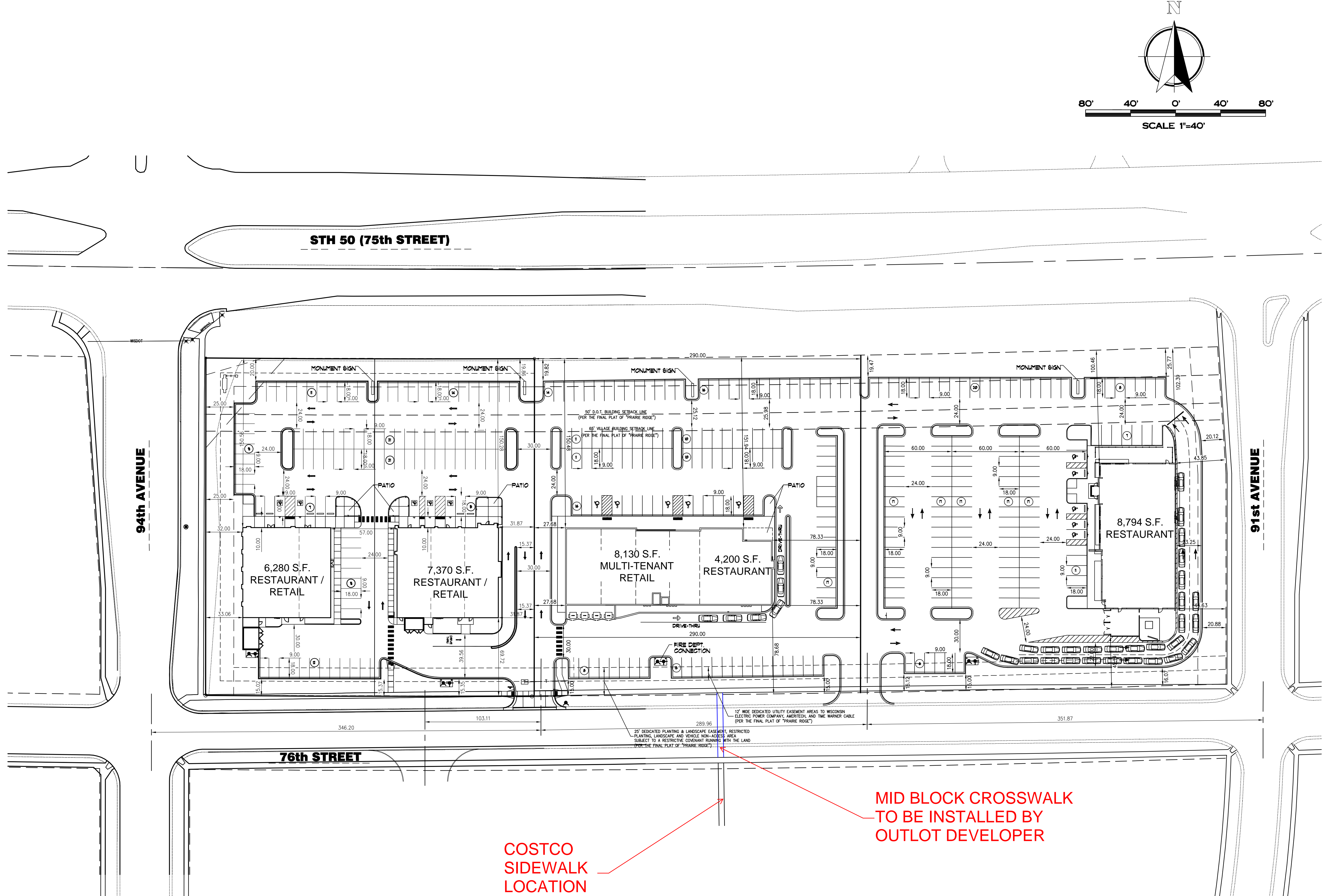
East Elevation

Monument Sign N.T.S.

Design Development Plans

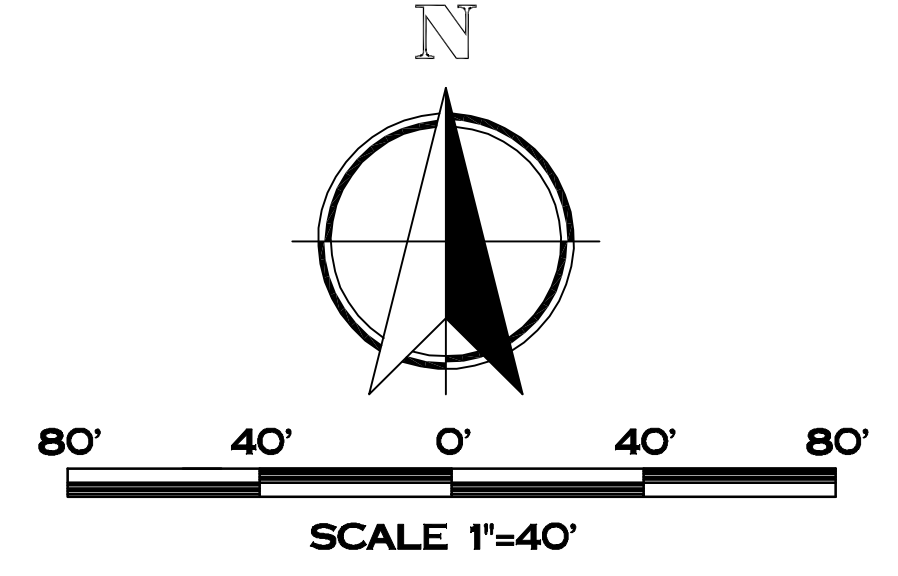
Proposed New Development
(Outlot 21)
75th Street & 94th Avenue
Pleasant Prairie, WI

June 12, 2015



**COSTCO
SIDEWALK
LOCATION**

**MID BLOCK CROSSWALK
TO BE INSTALLED BY
OUTLOT DEVELOPER**



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbasc.net

**OUTLOT 20 & 21
RESTAURANT / RETAIL / OFFICE
MASTER CONCEPTUAL PLAN**
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: JJC
DATE: 5-7-2015
CHECKED: MDE
DATE: 5-15-2015

2015.0011.01
SHEET
1 OF **1**



- G. Consider the request of Justin Hammerbeck, owner of the property located at 6724 Springbrook Road for approval of a **Certified Survey Map** to subdivide the property into two parcels.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the comments and conditions of the Village Staff Report of July 13, 2014.

VILLAGE STAFF REPORT OF JULY 13, 2015

Consider the request of Justin Hammerbeck, owner of the property located at 6724 Springbrook Road for approval of a **Certified Survey Map** to subdivide the property into two parcels.

The petitioner is requesting approval of a Certified Survey Map to subdivide his property located at 6724 Springbrook Road into two properties. This property is zoned R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District. Municipal sanitary sewer has been recently installed adjacent to this property; however the property is not served by municipal water.

Lot 1 is proposed to be 35,356 square feet with frontage on CTH ML and STH 31. This lot has an existing house and two detached garages.

- Verification shall be provided that the easternmost garage is less than 600 square feet (the building size shall be shown on the CSM).
- Verification that the existing driveway is a minimum of 5 feet from the side property line (the driveway and setback shall be shown on the CSM).

Lot 2 is proposed to be 24,873 square feet with frontage on CTH ML and Old Green Bay Road. Driveway access for Lot 2 will be limited. No driveway access will be allowed from CTH ML. The future driveway for Lot 2 shall be on Old Green Bay Road. The driveway shall be setback a minimum of 150 feet as measured from the intersection of CTH ML and Old Green Bay Road to the centerline of the driveway (to be noted on the CSM). A new house will be required to connect to municipal sanitary sewer and prior to issuance of a building permit will be required to sign a Notice of Waiver of Special Assessment for Municipal Water. A new house can be serviced by an on-site well if municipal water is not readily available.

In addition, a new house constructed on Lot 2 will be required to meet the minimum requirements of the R-4 District which includes the following setbacks:

- Setback to the property line adjacent to CTH ML of 65 feet.
- Setback to the property line adjacent to Old Green Bay Road of 50 feet.
- Setback to the west (side) property line of 10 feet.

The proposed land division conforms with the minimum regulations of the R-4 Zoning District requirements related to lot area and lot frontage (15,000 square feet in area with 90 feet of frontage on a public street).

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to compliance with the above comments, the conditions below and the recording of the CSM at the Kenosha County Register of Deeds Office 30 days of Village Board approval.

1. The CSM shall be revised to include the following and then resubmitted for Village staff review prior to executing and recording of the document:
 - a. Verification shall be provided that the easternmost garage is less than 600 square feet (the building size shall be shown on the CSM).
 - b. Verification that the existing driveway is a minimum of 5 feet from the side property line (the driveway and setback shall be shown on the CSM).
 - c. Driveway access for Lot 2 will be limited. No driveway access will be allowed from CTH ML and the access restricted area shall be shown (cross-hatched) on the CSM. As information, the future driveway shall be located on Old

Green Bay Road. The driveway shall be setback a minimum of 150 feet as measured from the intersection of CTH ML and Old Green Bay Road to the centerline of the driveway. The area on Old Green Bay Road in which a driveway is not permitted shall be identified as No Access (cross-hatched) on the CSM.

- d. Each road shown on the CSM shall be labeled as a "Dedicated Public Street".
 - e. Any existing easements shall be shown on the CSM. No additional utility easements are being requested from We Energies.
2. Prior to the issuance of a building permit for the construction of a single family home on Lot 2, the owner of Lot 2 will be required to sign a Notice of Waiver of Special Assessment related to the future installation of municipal water. A new house on Lot 2 can be serviced by an on-site well if municipal water is not readily available.
 3. Any outstanding taxes or levied special assessments shall be paid prior to recording the CSM. The special assessment for the recently installed sanitary sewer will be sent out in October for the property. The final resolution to be adopted by the Village Board shall prorate the assessment to each of the lots and a payment schedule will be established for the properties.
 4. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.



RECEIVED JUN 19 2015

BY: _____

Filed 7/19 2015
Fee Paid 7/19 2015
PC Meeting Date 7/13 2015
VB Meeting Date 7/20 2015
Approved _____ 20
Denied _____ 20

VILLAGE OF PLEASANT PRAIRIE CERTIFIED SURVEY MAP APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: 6724 Springbrook Rd., Pl. Pr., 53158

and is legally described as follows: Certified Survey map No. 1018 with parcel to North (as in See Tax Key No. Below)

Tax Parcel Number(s): 92-4-122-342-0091

- The property abuts or adjoins a State Trunk Highway [X] Yes [] No
The property abuts or adjoins a County Trunk Highway [X] Yes [] No
Municipal Sanitary Sewer is available to service said properties [X] Yes [] No
Municipal Water is available to service said properties [] Yes [X] No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Justin Hammerbeck
Signature: J. J. Hammerbeck
Address: 6724 Springbrook Rd.
Pleasant Prairie, WI 53158
Phone: 262-914-8600
Fax: 773-442-1516
Date: 6/18/15

OWNER'S AGENT:

Print Name: _____
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
Date: _____

Pauline@Hammerbeck.us

CERTIFIED SURVEY MAP

- for -

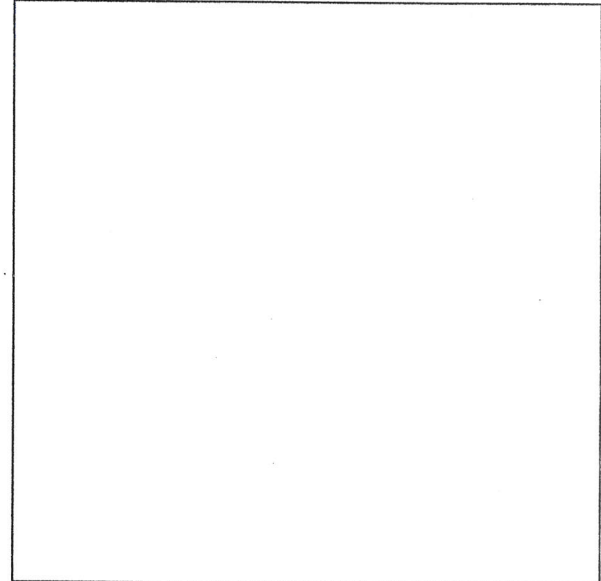
Justin Hammerbeck &
Pauline A. Tingas

(Re-division of Certified Survey
Map No. 1018 with Parcel to North)

in NW1/4 Section 34-1-22

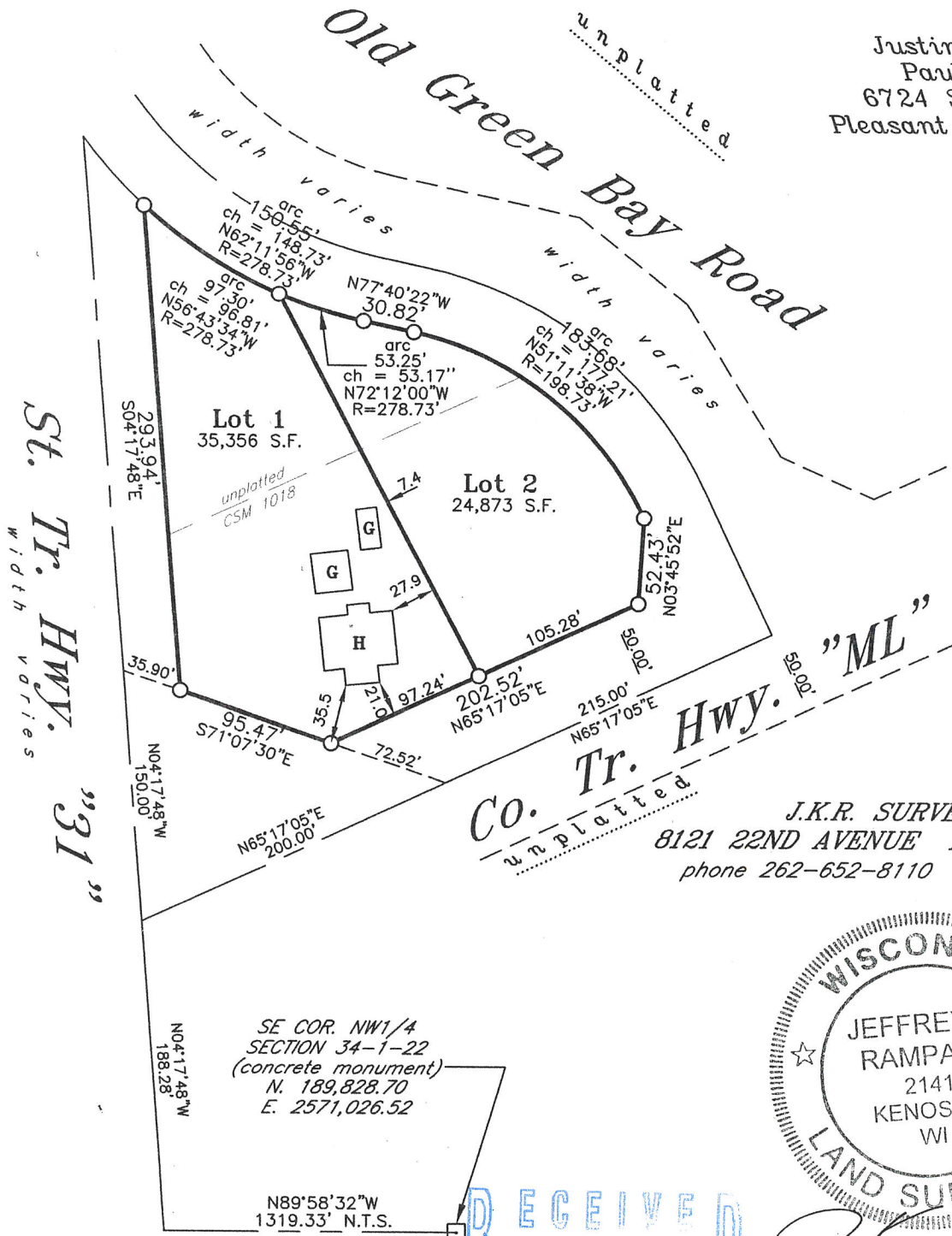
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WIS.

Lots shown hereon shall be
served by public sanitary sewer.



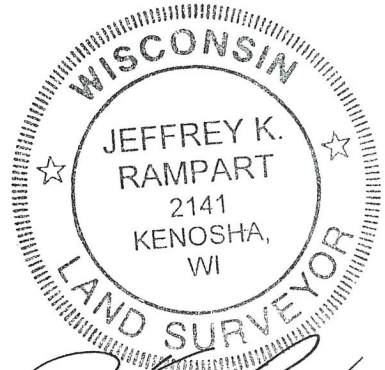
OWNER

Justin Hammerbeck &
Pauline A. Tingas
6724 Springbrook Road
Pleasant Prairie, WI 53158



Scale
1" = 100'

J.K.R. SURVEYING, INC.
8121 22ND AVENUE KENOSHA, WI. 53143
phone 262-652-8110 fax 262-652-9695



RECEIVED

JUN 19 2015 WISCONSIN REGISTERED LAND SURVEYOR

JEFFREY K. RAMPART

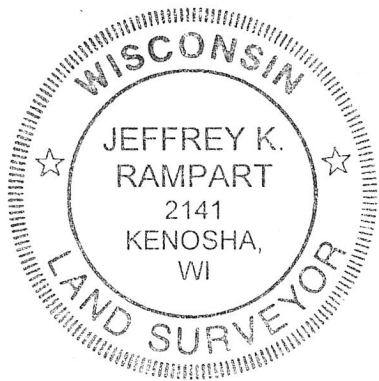
Dated June 9, 2015

denotes 1" x 2' iron pipe
(weight: 1.13 lbs per foot)

CERTIFIED SURVEY MAP

I, JEFFREY K. RAMPART, SURVEYOR, hereby certify that I have prepared this certified survey map, the exterior boundaries of which are described as:

Part of Certified Survey Map No. 1018, a plat of record in the Kenosha County Land Registry and part of the Northwest Quarter of Section 34, Town 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and being more particularly described as: Commencing at the southeast corner of said quarter section; thence N89°58'32"W along the south line of said quarter section 1319.33 feet; thence N04°17'48"W 338.28 feet; thence S71°07'30"E 35.90 feet to the point of beginning; thence continue S71°07'30"E 95.47 feet; thence N65°17'05"E 202.52 feet; thence N03°45'52"E 52.43 feet; thence northwesterly 183.68 feet along the arc of a curve concave to the southwest; said curve having a central angle of 52°57'27", a radius of 198.73 feet and a chord which bears N51°11'38"W 177.21 feet; thence N77°40'22"W 30.82 feet; thence northwesterly 150.55 feet along the arc of a curve concave to the northeast, said curve having a central angle of 30°56'52", a radius of 278.73 feet and a chord which bears N62°11'56"W 148.73 feet; thence S04°17'48"E 293.94 feet to the point of beginning.



That I have complied with the provisions of chapter 236.34 of the State Statutes on certified surveys and the Village of Pleasant Prairie Land Division and Platting Ordinance.

Dated this 9th day of June, 2015

SURVEYOR..... *JKR*
JEFFREY K. RAMPART

As owner(s), I (we) hereby certify that I (we) caused the land described on this plat to be surveyed, divided, dedicated and mapped as represented on this plat.

OWNER.....
JUSTIN HAMMERBECK
PRINT NAME.....

OWNER.....
PAULINE A. TINGAS
PRINT NAME.....

STATE OF WISCONSIN
KENOSHA COUNTY S.S.

Personally came before me this day of, 20___, the above named Justin Hammerbeck and Pauline A. Tingas, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

My Commission Expires.....
NOTARY PUBLIC
PRINT NAME.....

This certified survey map has been submitted to and approved by the Village Board of the Village of Pleasant Prairie on this day of, 20___.

.....
PLAN COMMISSION CHAIRMAN,
Thomas W. Terwall
PRINT NAME.....

.....
VILLAGE CLERK, Jane M. Romanowski
PRINT NAME.....

APPROVED.....
VILLAGE PRESIDENT, John P. Steinbrink
PRINT NAME.....

OWNER
Justin Hammerbeck &
Pauline A. Tingas
6724 Springbrook Road
Pleasant Prairie, WI 53158